

HOUSING FOR OLDER PERSONS CONDOMINIUM

TODDY BROOK ESTATES

- TAX MAP 41 LOTS 25, 28 & 44 -
SILVER LAKE ROAD
HOLLIS, NEW HAMPSHIRE 03049
JULY 23, 2021
LAST REVISED: JUNE 27, 2022

ABUTTER INFORMATION:

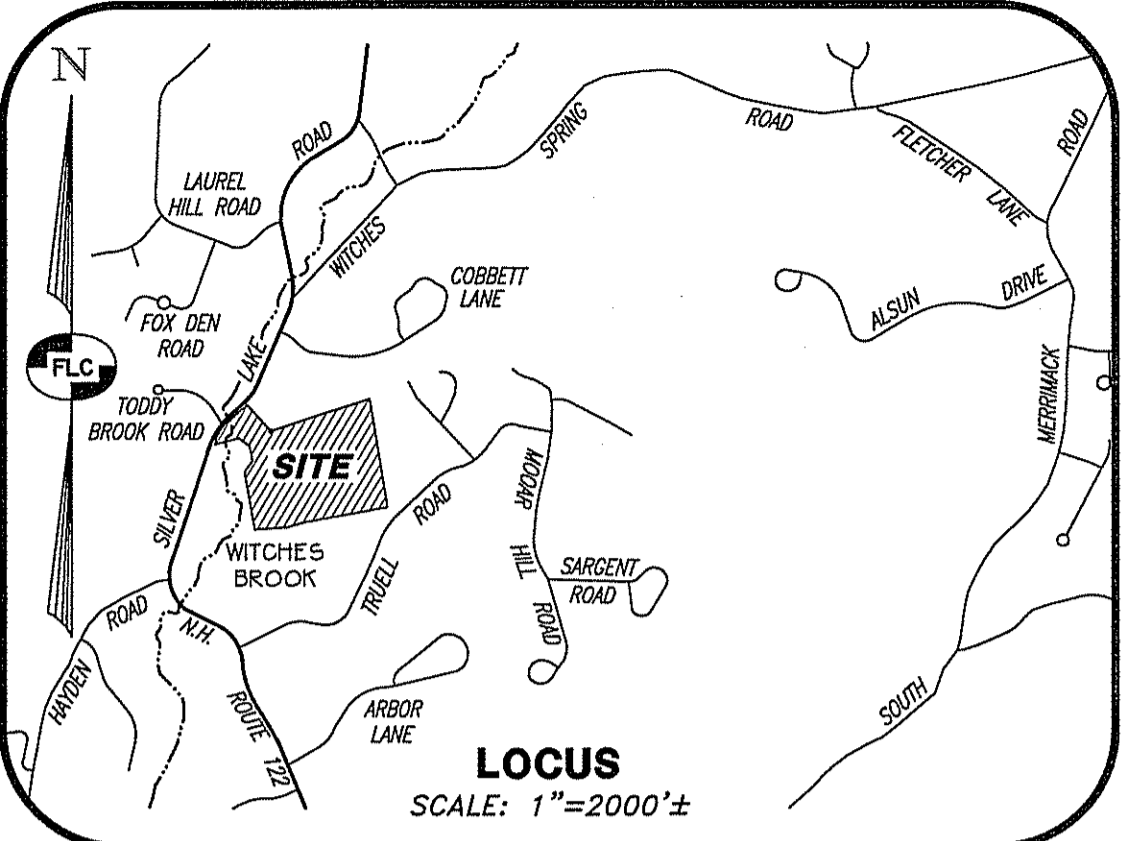
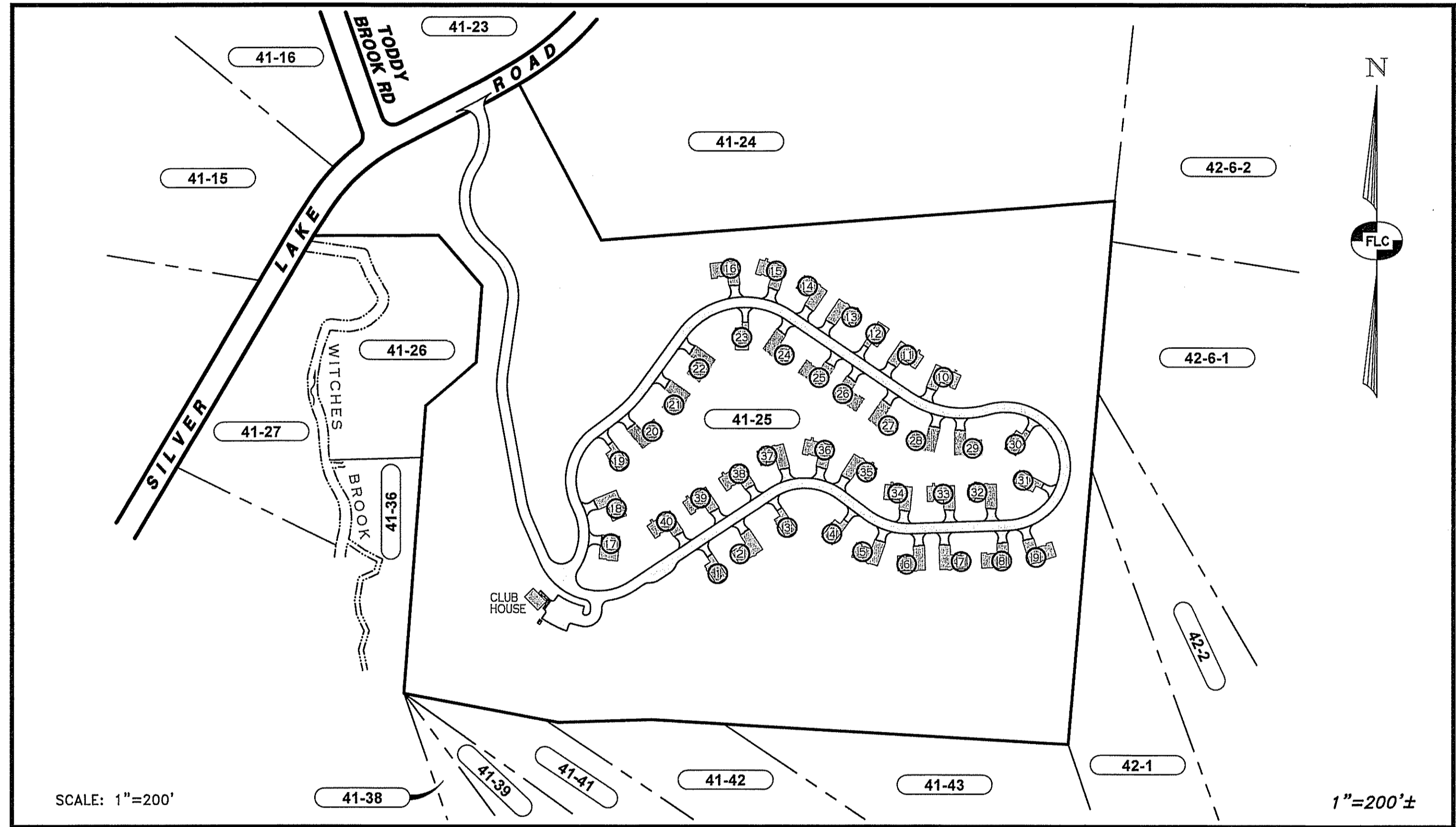
<p>MAP 41 LOT 26 THE RICHARD D. SULLIVAN, JR. AND BECKY L. SULLIVAN REVOCABLE TRUST 353 SILVER LAKE ROAD HOLLIS, NH 03049 BK.8785 PG.2178 8/23/15 (353 SILVER LAKE ROAD)</p> <p>MAP 41 LOTS 28 & 44 RAISANEN HOMES ELITE LLC P.O. BOX 748 NASHUA, NH 03061-0748 BK.8279 PG.1840 12/30/10 BK. 9199 PG.1567 08/16/19 (SILVER LAKE ROAD)</p> <p>MAP 41 LOT 15 GREGORY A. HAYDEN 354 SILVER LAKE ROAD HOLLIS, NH 03049-6265 BK.5010 PG.264 10/20/88 (354 SILVER LAKE ROAD)</p> <p>MAP 41 LOT 42 JAMES P. & LYNN M. COWAN 38 TRUPELL ROAD HOLLIS, NH 03049 BK.5957 PG.1571 6/10/98 (H.C.R.D. PLAN #9005) (38 TRUPELL ROAD)</p> <p>MAP 41 LOT 43 ANNI HURLEY REV. TRUST AGMT JOHN HURLEY JR., TRUSTEE ANNI HURLEY, TRUSTEE 42 TRUPELL ROAD HOLLIS, NH 03049 BK.8711 PG.955 11/24/14 (12 TRUPELL ROAD)</p> <p>MAP 41 LOT 16 SARAH A. BUCKLEY REV. TRUST SARAH A. BUCKLEY, TRUSTEE 4 TODDY BROOK ROAD HOLLIS, NH 03049 BK.8763 PG.1360 11/7/02 (4 TODDY BROOK ROAD)</p>	<p>MAP 41 LOT 25 TODDY BROOK INVESTMENTS, LLC P.O. BOX 748 NASHUA, NH 03061-0748 BK.9047 PG.1064 01/31/18 (365 SILVER LAKE ROAD)</p> <p>MAP 41 LOT 24 HOLLIS TOWN FOREST 7 MONUMENT SQUARE HOLLIS, NH 03049 BK.3520 PG.432 5/9/86 (SILVER LAKE ROAD)</p> <p>MAP 41 LOT 38 SCHUR FAMILY REVOCABLE TRUST DAVID C. & LYNN E. SCHUR, TRUSTEES 22 TRUPELL ROAD HOLLIS, NH 03049 BK.8631 PG.870 12/19/13 (H.C.R.D. PLAN #8114) (22 TRUPELL ROAD)</p> <p>MAP 41 LOT 36 14 TRUPELL ROAD LLC C/O BRUCE MACDONALD, PRESIDENT NET LEASE CAPITOL ADVISORS 10 TARA BLVD. NASHUA, NH 03062 BK.7245 PG.531 04/09/04 (H.C.R.D. PLAN #2725) (14 TRUPELL ROAD)</p> <p>MAP 41 LOT 41 ET REVOCABLE LIVING TRUST AGREEMENT ELENA TABACHNIKOFF, TRUSTEE 34 TRUPELL ROAD HOLLIS, NH 03049 BK.8870 PG.608 6/28/16 (H.C.R.D. PLAN #2725) (34 TRUPELL ROAD)</p>	<p>MAP 41 LOT 23 RUSSELL LAWSON CATHY JOE P.O. BOX 536 HOLLIS, NH 03049 BK.8938 PG.2210 1/19/17 (SILVER LAKE ROAD)</p> <p>MAP 42 LOT 1 MATTHEW A. & KAREN A. BELMONTE 46 TRUPELL ROAD HOLLIS, NH 03049 BK.8795 PG.2609 4/28/15 (46 TRUPELL ROAD)</p> <p>MAP 42 LOT 2 ALAN B. & SHEILA A. WARREN 50 TRUPELL ROAD HOLLIS, NH 03049 BK.8853 PG.823 4/18/16 (50 TRUPELL ROAD)</p> <p>MAP 42 LOT 6-1 RICHARD P. & JAMIE L. MODELSKI 66-1 TRUPELL ROAD HOLLIS, NH 03049 BK.6084 PG.1139 4/29/99 (66-1 TRUPELL ROAD)</p> <p>MAP 42 LOT 6-2 BARRY J. & ANGELA B. JOHNSON 66-2 TRUPELL ROAD HOLLIS, NH 03049 BK.6019 PG.1390 11/6/98 (66-2 TRUPELL ROAD)</p> <p>MAP 41 LOT 39 PHILIP G. & JANET E. FOTOS 26 TRUPELL ROAD HOLLIS, NH 03049 BK.8870 PG.608 6/28/16 (H.C.R.D. PLAN #2725) (26 TRUPELL ROAD)</p>
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- "EASEMENT PLAN - TAX MAP 41 LOTS 25 & 26 - (SILVER LAKE ROAD) - HOLLIS, NEW HAMPSHIRE", SCALE: 1"=100', DATED JANUARY 12, 2018 BY FIELDSTONE LAND CONSULTANTS, PLLC & RECORDED AS PLAN #39584 IN THE H.C.R.D.
- "SURVEYED FOR - RICHARD SULLIVAN JR. - HOLLIS, N.H.", SCALE 1"=30', DATED MAY 1975, BY R. FORACE LUND. RECORDED IN THE H.C.R.D. AS PLAN NO. 8579 IN THE H.C.R.D..
- "SURVEYED FOR - MRS. RICHARD SULLIVAN - HOLLIS, N.H.", SCALE 1"=40', DATED JANUARY 1978 AND REVISED JANUARY 1981, BY R. FORACE LUND. RECORDED AS PLAN #13815 IN THE H.C.R.D.
- "SURVEYED FOR - MRS. RICHARD SULLIVAN - HOLLIS, N.H.", SCALE 1"=40', DATED JANUARY 1978, BY R. FORACE LUND. RECORDED AS PLAN #13015 IN THE H.C.R.D.
- "PLAN OF LOTS - IN - HOLLIS, N.H. - OWNED BY: - BUSHMICH REALTY TRUST, 93 MIDDLE ST. WOBURN, MASS", SCALE: 1"=100', DATED: JUNE 15, 1976 & REVISED THROUGH JULY 22, 1976, BY DONALD R. MELLON & RECORDED AS PLAN #9445 IN THE H.C.R.D.
- "SUBDIVISION PLAN OF LAND - PREPARED FOR - MORGAN RYAN REALTY TRUST - HOLLIS, NEW HAMPSHIRE", SCALE: 1"=100', DATED OCTOBER 23, 1995 & REVISED THROUGH MARCH 12, 1998 BY JOHN J. O'NEIL INC. & RECORDED AS PLAN #29101 IN THE H.C.R.D.
- "SURVEYED FOR - ALFRED ZARLENGO - HOLLIS-N.H.", SCALE: 1"=50', DATED: OCTOBER, 1973 BY R. FLORANCE LUND & RECORDED AS PLAN #7754 IN THE H.C.R.D.
- "SURVEYED FOR - ARTHUR W. BICKMORE - HOLLIS-N.H. - SHOWING A CORRECTED - PLAN OF LOT 20 - ORIGINAL RECORDED ON - PLAN #2725 (3-37)", SCALE: 1"=50', DATED JANUARY, 1976 BY R. FLORANCE LUND & RECORDED AS PLAN #9005 IN THE H.C.R.D.

TURTLE IDENTIFICATION GUIDE

<p>Blanding's turtle (state endangered)</p> <ul style="list-style-type: none"> Large, dark/black domed shell with lighter speckles Distinct yellow throat/chin Aquatic but often moves on land 	<p>Eastern box turtle (state endangered)</p> <ul style="list-style-type: none"> Small terrestrial turtle with highly domed shell Irregular yellow or orange markings over brown/black base
<p>Wood turtle (special concern)</p> <ul style="list-style-type: none"> Sculpted, pyramidal brownish shell Orange around neck and limbs River/stream turtle spending many months on land 	<p>Spotted turtle (state threatened)</p> <ul style="list-style-type: none"> Small, mostly aquatic with black or dark brown with yellow spots. Fairly flat shell compared to Blanding's turtle



SHEET INDEX		
PAGE	SHEET	TITLE
1	CV-1	COVER SHEET
2	EA-1	LOT CONSOLIDATION & EASEMENT PLAN
3	CD-1	OVERALL CONDOMINIUM PLAN
4	CD-2	CONDOMINIUM PLAN WEST
5	CD-3	CONDOMINIUM PLAN EAST
6	EX-1	EXISTING CONDITIONS PLAN WEST
7	EX-2	EXISTING CONDITIONS PLAN EAST
8	SL-1	SITE SPECIFIC SOILS MAP WEST
9	SL-2	SITE SPECIFIC SOILS MAP EAST
10	SP-1	OVERALL SITE & GRADING PLAN
11	GR-1	GRADING PLAN WEST
12	GR-2	GRADING PLAN EAST
13	UT-1	SITE & UTILITY PLAN WEST
14	UT-2	SITE & UTILITY PLAN EAST
15	EC-1	EROSION CONTROL PLAN WEST
16	EC-2	EROSION CONTROL PLAN EAST
17	LT-1	LIGHTING PLAN
18	LS-1	LANDSCAPING PLAN
19	PP-1	ROADWAY PLAN AND PROFILE MAIN ACCESS RD.-STA 0+00 TO STA 12+00
20	PP-2	ROADWAY PLAN AND PROFILE MAIN ACCESS RD.-STA 12+00 TO STA 24+50
21	PP-3	ROADWAY PLAN AND PROFILE MAIN ACCESS RD.-STA 24+50 TO STA 35+50
22	PP-4	ROADWAY PLAN AND PROFILE MAIN ACCESS RD.-STA 35+50 TO STA 39+07
23	DT-1	GENERAL CONSTRUCTION DETAILS
24	DT-2	GENERAL CONSTRUCTION DETAILS
25	DT-3	DRAINAGE DETAILS
26	DT-4	STORMWATER MANAGEMENT DETAILS
27	DT-5	EROSION CONTROL DETAILS
28	DT-6	WATER CONSTRUCTION DETAILS
29	DT-7	CISTERN DETAILS

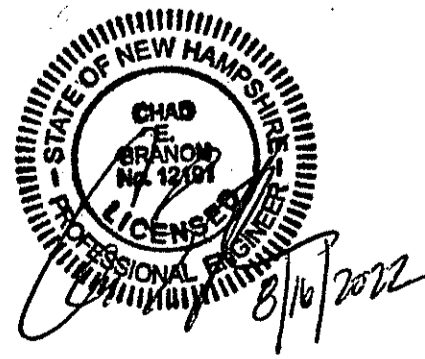
PREPARED FOR AND LAND OF LOT 41-25:
TODDY BROOK INVESTMENTS, LLC
P.O. BOX 748
NASHUA, NEW HAMPSHIRE 03061-0748

AND LAND OF LOTS 41-28 & 41-44:
RAISANEN HOMES ELITE LLC
P.O. BOX 748
NASHUA, NEW HAMPSHIRE 03061-0748

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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206 Elm Street, Milford, NH 03055
Phone: (603)-672-5456 Fax: (603)-413-5456
www.FieldstoneLandConsultants.com



APPROVED BY THE HOLLIS PLANNING BOARD

ON: _____ CERTIFIED BY _____
CHAIRMAN: _____ AND _____
SECRETARY: _____

EXHIBIT SHEET INDEX		
PAGE	SHEET	TITLE
1	EH-1	SIGHT DISTANCE PLAN & PROFILES - INTERSECTIONS
2	EH-2	SIGHT DISTANCE PLAN & PROFILES - UNITS 1-6
3	EH-3	SIGHT DISTANCE PLAN & PROFILES - UNITS 7-12
4	EH-4	SIGHT DISTANCE PLAN & PROFILES - UNITS 13-18
5	EH-5	SIGHT DISTANCE PLAN & PROFILES - UNITS 19-24
6	EH-6	SIGHT DISTANCE PLAN & PROFILES - UNITS 25-30
7	EH-7	SIGHT DISTANCE PLAN & PROFILES - UNITS 31-36
8	EH-8	SIGHT DISTANCE PLAN & PROFILES - UNITS 37-40
9	EH-9	ROADWAY CROSS SECTIONS

1. THE LOCATION OF THE UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PRESERVE ALL UTILITY SERVICES.

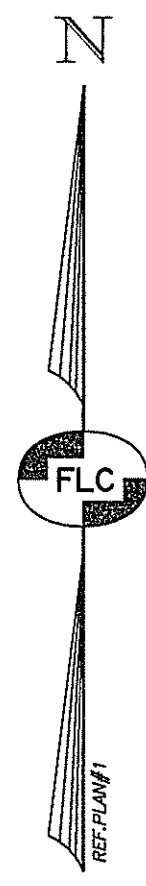
2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL JURISDICTIONAL AGENCIES AND UTILITY COMPANIES PRIOR TO AND DURING CONSTRUCTION.

3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROPOSED WORK PRIOR TO CONSTRUCTION.

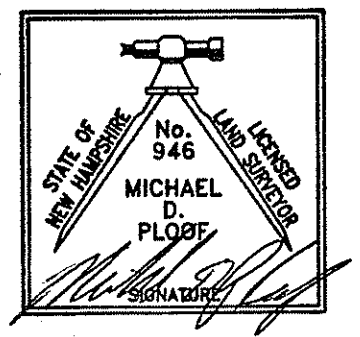
CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 811
CALL BEFORE YOU DIG

REV.	DATE	DESCRIPTION	C/O	DR	NRC	CK
A	6/27/22	PER PLANNING BOARD	-	DSL	NRC	

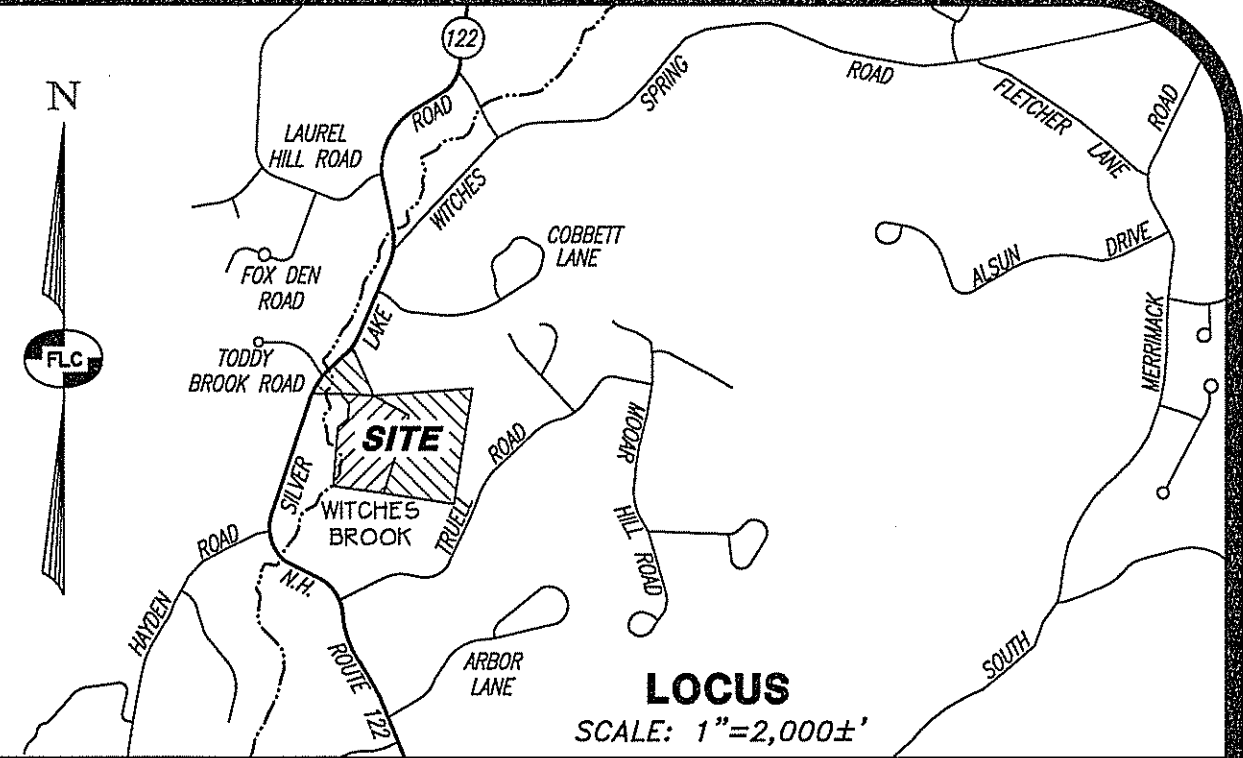
FILE: 1591CV00A.dwg PRJ. NO. 1591.00 SHEET: CV-1 PAGE NO. 1 OF 29



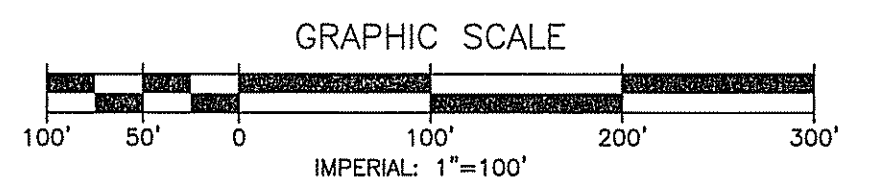
CERTIFICATION:
 "I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND DURING THE MONTH OF NOVEMBER 2019 PER THE PRECISION AND ACCURACY STANDARDS FOR AN URBAN CLASSIFICATION SURVEY AS SPECIFIED IN THE NEW HAMPSHIRE LAND SURVEYOR'S ADMINISTRATIVE RULES (LAN 503.04) AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY."
 DATE: 8/16/22



- LEGEND:**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - - - ABUTTING LOT LINE
 - - - BUILDING SETBACK LINE
 - - - EDGE OF PAVED ROAD
 - - - EDGE OF GRAVEL ROAD
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 - - - EXISTING EASEMENT LINE
 - - - FORMER TRACT LINE
 - - - PROPOSED EASEMENT LINE
- G.B.(F) GRANITE BOUND FOUND
 - G.B.(*) GRANITE BOUND PER REF.PLAN
 - L.P.I.P.E.(F) IRON PIPE FOUND
 - L.P.I.P.E.(*) IRON PIPE PER REF.PLAN
 - 41-25 TAX MAP & LOT NUMBER



- NOTES:**
- THE OWNER OF RECORD FOR TAX MAP LOT 41-25 IS TODDY BROOK INVESTMENTS, LLC - P.O. BOX 748, NASHUA, NH 03061-0748. DEED REFERENCE FOR THE LOT IS BK.9047 PG.1064 DATED JANUARY 31, 2018 IN THE H.C.R.D.
 - THE OWNER OF RECORD FOR TAX MAP LOTS 41-44 & 41-28 IS RAISANEN HOMES ELITE LLC - P.O. BOX 748, NASHUA, NH 03061-0748. DEED REFERENCES FOR THE LOTS ARE BK.9199 PG.1567 DATED AUGUST 16, 2019 & BK.8279 PG.1840 DATED DECEMBER 30, 2019 IN THE H.C.R.D.
 - THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE TAX MAP LOTS 41-25, 41-28 & 41-44 INTO ONE LOT KNOWN AS TAX MAP LOT 41-25 AS SHOWN.
 - THE EXISTING AREA OF LOT 41-44 IS 20,220 ACRES, OR 880,780 SQ.FT. THE EXISTING AREA OF LOT 41-28 IS 13,295 ACRES, OR 579,144 SQ.FT. THE EXISTING AREA FOR LOT 41-25 IS 2,569 ACRES OR 111,925 SQ.FT.
 - ZONING FOR THE SUBJECT LOTS IS THE RESIDENTIAL & AGRICULTURAL (R&A) DISTRICT. MINIMUM ZONING REQUIREMENTS ARE:
 LOT SIZE = 2 ACRES
 ROAD FRONTAGE = 200 FT.
 BUILDING SETBACKS = 50 FT. FRONT, 35 FT. SIDE AND REAR
 - THE WETLANDS CONSERVATION OVERLAY ZONE (WCO) REQUIRES A 100 FT. BUFFER FROM ALL DELINEATED WETLANDS.
 - THE LOTS LIE OUTSIDE THE FLOOD PLAIN OVERLAY ZONE (FPO) AND THE 100-YEAR FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, NEW HAMPSHIRE, COMMUNITY NO. 330091 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER 33011C04860 DATED SEPTEMBER 25, 2009.
 - THE LOTS LIE OUTSIDE THE AQUIFER PROTECTION OVERLAY ZONE (APO) AS DETERMINED FROM THE USGS STUDY OF DRIFT AQUIFERS IN THE NASHUA REGION, SOUTH CENTRAL NEW HAMPSHIRE, WATER RESOURCES INVESTIGATIONS REPORT 86-4368, PLATE 2.
 - THE BOUNDARY INFORMATION SHOWN FOR EXISTING LOTS 41-28, 41-25 & 41-44 WAS DEVELOPED FROM THE REFERENCE PLANS CITED HEREON TOGETHER WITH A PRECISE FIELD SURVEY BY THIS OFFICE IN NOVEMBER 2019. HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #1 AND VERTICAL DATUM IS ASSUMED.
 - TO THE BEST OF MY KNOWLEDGE AND BELIEF, TAX MAP LOTS 41-25, 41-28, & 41-44 ARE NOT SUBJECT TO ANY EASEMENTS, TRAILS, OR OPEN SPACE RESTRICTIONS OTHER THAN THOSE SHOWN (IF ANY) HEREON.
 - LOT 41-25 IS SERVICED BY AN INDIVIDUAL SEPTIC SYSTEM AND WATER WELL. LOTS 41-28 & 41-44 ARE VACANT AND UNIMPROVED.
 - JURISDICTIONAL WETLANDS SHOWN HEREON WERE DELINEATED BY CHRISTOPHER A. GUIDA FROM THIS OFFICE DURING THE MONTHS OF JUNE, 2017 & NOVEMBER, 2019.
 - ALL OBSERVABLE ROADS, DRIVEWAYS, BUILDINGS, LEACHFIELDS, WATER SUPPLY WELLS / SPRINGS WITHIN 200 FEET AND ALL EXISTING EASEMENTS, TRAILS, PARKS, OPEN SPACE & OBSERVABLE UTILITIES WITHIN 100 FEET ARE SHOWN OR NOTED HEREON.
 - LOT 41-25 IS SUBJECT TO RIGHTS OF FLOWAGE DESCRIBED IN HORD BK.9047 PG.1064.



REV.	DATE	PER PLANNING BOARD DESCRIPTION	C/O	DSL	NRC
A	6/27/22	PER PLANNING BOARD	-	DSL	NRC

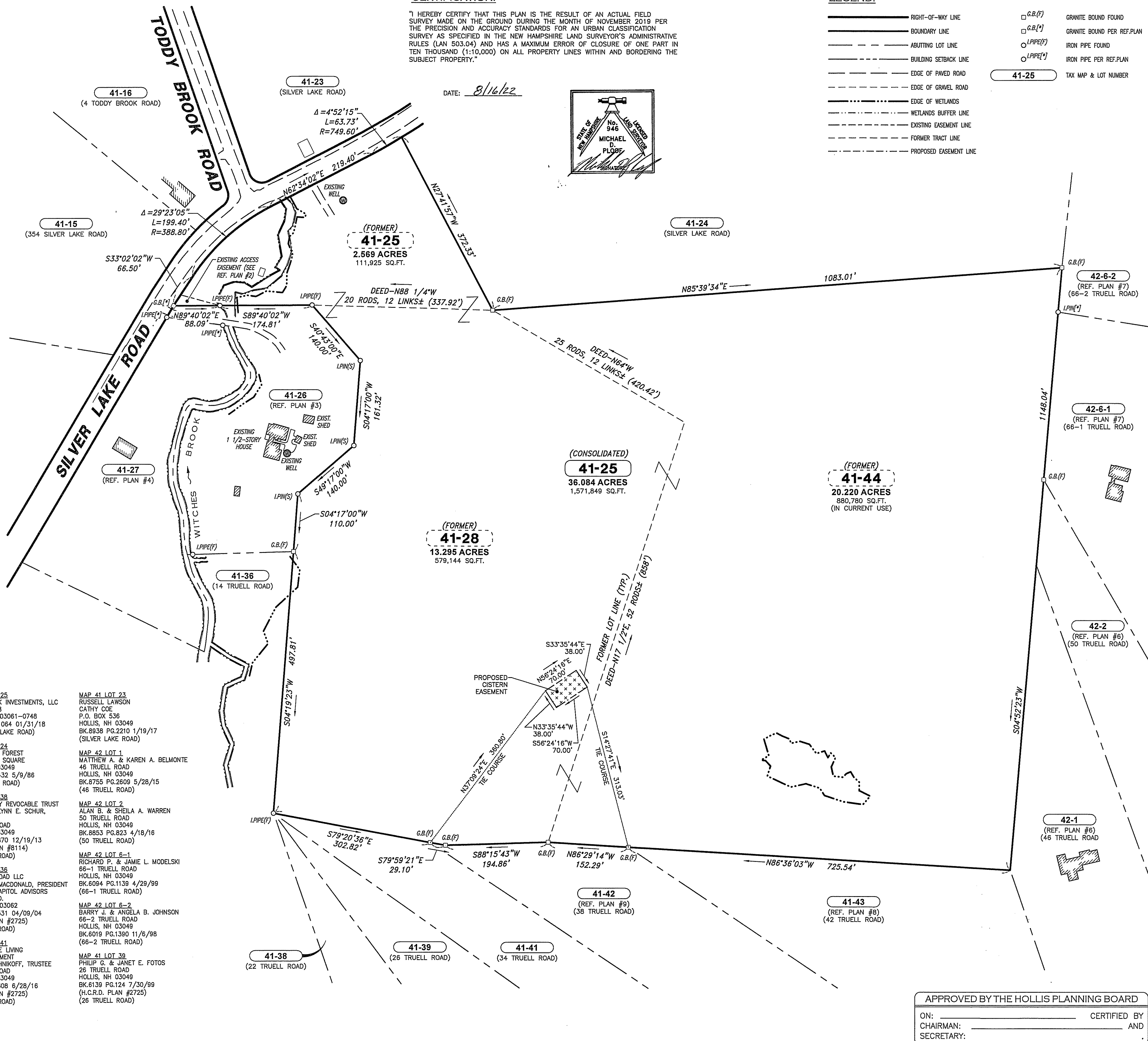
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 (SILVER LAKE ROAD)
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 P.O. BOX 748, NASHUA, NH 03061-0748 (LOT 41-25)
 AND LAND OF:
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 SCALE: 1" = 100' JULY 23, 2021

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ON: _____ CERTIFIED BY _____ AND _____
 CHAIRMAN: _____ SECRETARY: _____

LEGEND:

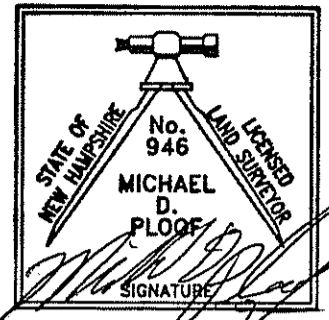
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- G.B.(P) GRANITE BOUND PER REF.PLAN
- I.PIPE(F) IRON PIPE FOUND
- I.PIPE(P) IRON PIPE PER REF.PLAN
- I.PIN(S) IRON PIN SET
- UTILITY POLE & GUY
- PROPOSED OPEN SPACE
- PROPOSED CISTERN EASEMENT
- PROPOSED EASEMENT LINE
- 40 PROPOSED UNIT NUMBER
- - - LIMITED COMMON AREA LINE



CERTIFICATION:

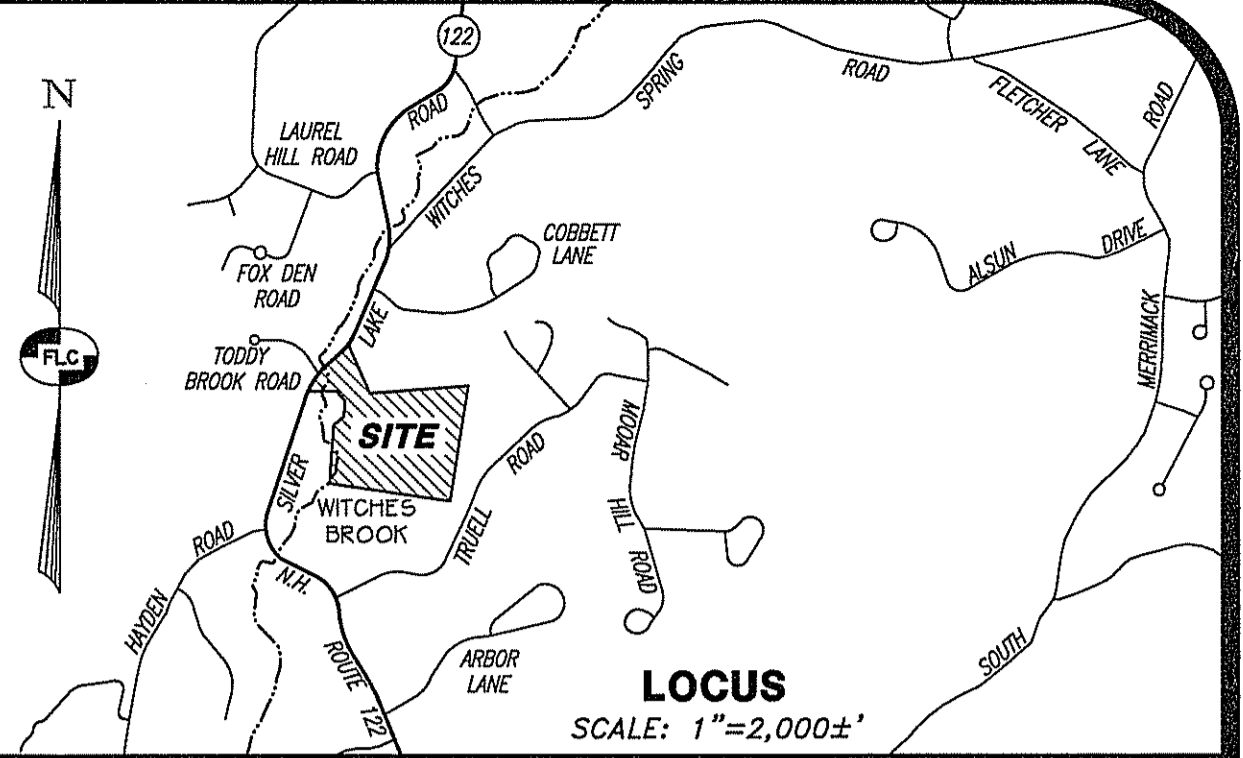
I HEREBY CERTIFY THAT THIS PLAN IS ACCURATE AND IN COMPLIANCE RELATIVE TO THE CONTEMPLATED IMPROVEMENTS PROVISIONS OF NH-RSA, TITLE XXXI, SECTION 356-B:20, PARAGRAPH 1, AS SHOWN OR NOTED HEREON

DATE: 8/16/22



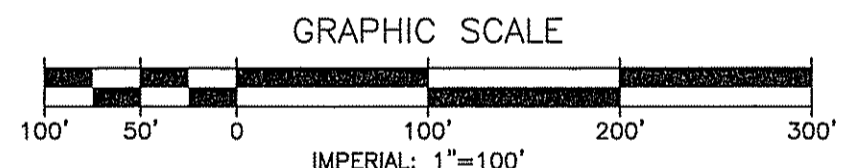
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2. "EASEMENT PLAN - TAX MAP 41 LOTS 25 & 26 - (SILVER LAKE ROAD) - HOLLIS, NEW HAMPSHIRE", SCALE: 1"=100', DATED JANUARY 12, 2018 BY FIELDSTONE LAND CONSULTANTS, PLLC & RECORDED AS PLAN #39584 IN THE H.C.R.D.
3. "SURVEYED FOR - RICHARD SULLIVAN JR. - HOLLIS, N.H.", SCALE 1"=30', DATED MAY 1975, BY R. FORACE LUND. RECORDED IN THE H.C.R.D. AS PLAN NO. 8579 IN THE H.C.R.D.
4. "SURVEYED FOR - MRS. RICHARD SULLIVAN - HOLLIS, N.H.", SCALE 1"=40', DATED JANUARY 1978 AND REVISED JANUARY 1981, BY R. FORACE LUND. RECORDED AS PLAN #13015 IN THE H.C.R.D.
5. "SURVEYED FOR - MRS. RICHARD SULLIVAN - HOLLIS, N.H.", SCALE 1"=40', DATED JANUARY 1978, BY R. FORACE LUND. RECORDED AS PLAN #13015 IN THE H.C.R.D.
6. "PLAN OF LOTS - IN - HOLLIS, N.H. - OWNED BY: - BUSHMICH REALTY TRUST, 93 MIDDLE ST. WOBURN, MASS", SCALE: 1"=100', DATED: JUNE 15, 1976 & REVISED THROUGH JULY 22, 1976, BY DONALD R. MELLON & RECORDED AS PLAN #9445 IN THE H.C.R.D.
7. "SUBDIVISION PLAN OF LAND - PREPARED FOR - MORGAN RYAN REALTY TRUST - HOLLIS, NEW HAMPSHIRE", SCALE: 1"=100', DATED OCTOBER 23, 1995 & REVISED THROUGH MARCH 12, 1998 BY JOHN J. O'NEIL INC. & RECORDED AS PLAN #29101 IN THE H.C.R.D.
8. "SURVEYED FOR - ALFRED ZARLENGO - HOLLIS-N.H.", SCALE: 1"=50', DATED: OCTOBER, 1973 BY R. FLORANCE LUND & RECORDED AS PLAN #7754 IN THE H.C.R.D.
9. "SURVEYED FOR - ARTHUR W. BICKMORE - HOLLIS-N.H. - SHOWING A CORRECTED - PLAN OF LOT 20 - ORIGINAL RECORDED ON - PLAN #2725 (3-37)", SCALE: 1"=50', DATED JANUARY, 1976 BY R. FLORANCE LUND & RECORDED AS PLAN #9005 IN THE H.C.R.D.



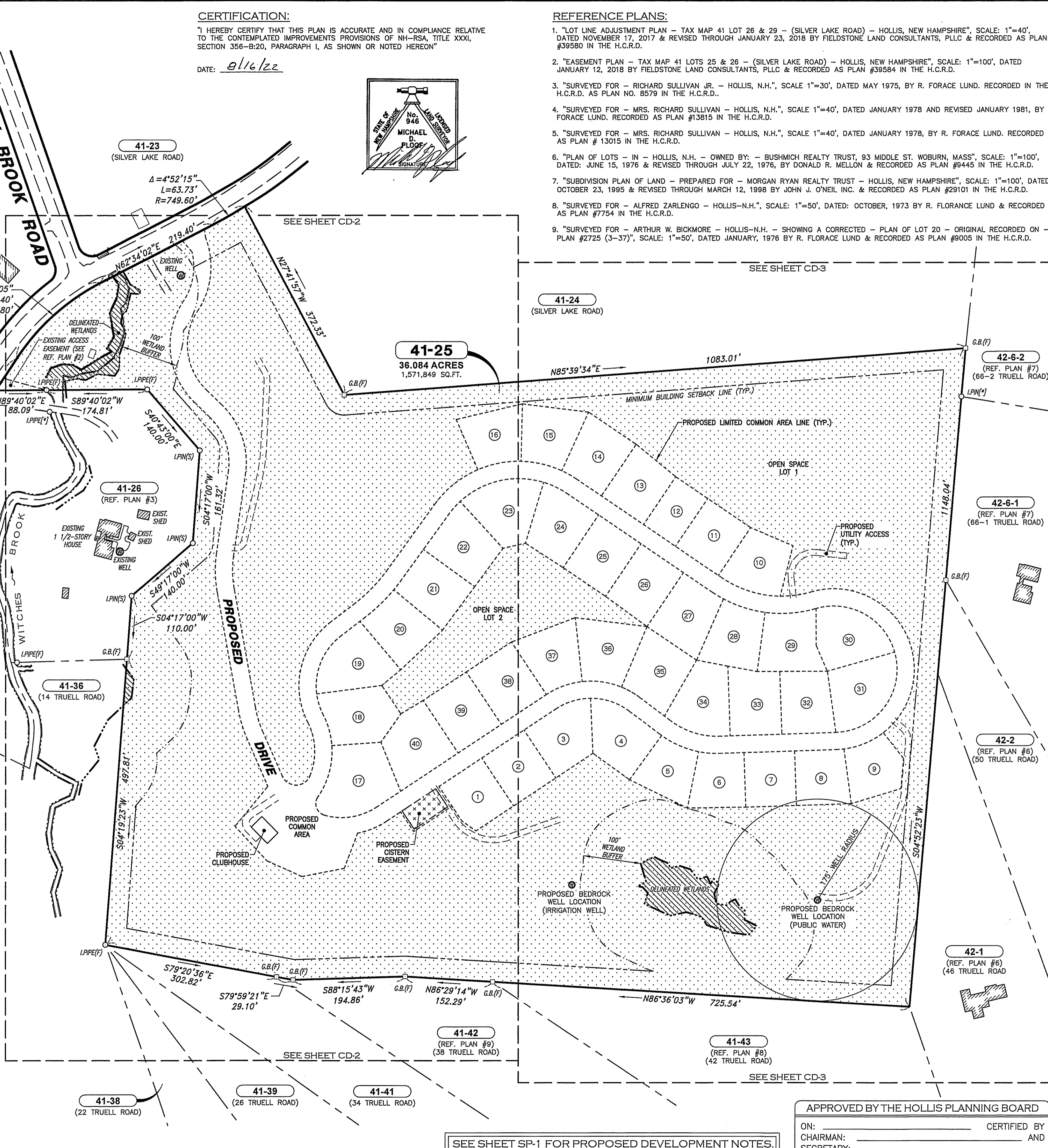
NOTES:

1. THE OWNER OF RECORD FOR TAX MAP LOT 41-25 IS TODDY BROOK INVESTMENTS, LLC - P.O. BOX 748, NASHUA, NH 03061-0748. DEED REFERENCE FOR THE LOT IS BK.9047 PG.1064 DATED JANUARY 31, 2018 IN THE H.C.R.D.
2. THE OWNER OF RECORD FOR TAX MAP LOTS 41-44 & 41-28 IS RAISANEN HOMES ELITE LLC - P.O. BOX 748, NASHUA, NH 03061-0748. DEED REFERENCES FOR THE LOTS ARE BK.9199 PG.1567 DATED AUGUST 16, 2019 & BK.8279 PG.1840 DATED DECEMBER 30, 2010 IN THE H.C.R.D.
3. THE PURPOSE OF THIS PLAN IS TO DEPICT A 40 UNIT HOUSING FOR OLDER PERSONS CONDOMINIUM SITE PLAN ON CONSOLIDATED TAX MAP LOT 41-25 AS SHOWN.
4. THE EXISTING AREA OF LOT 41-25 AFTER THE CONSOLIDATION OF LOTS 41-25, 41-28 & 41-44 IS 36.084 ACRES, OR 1,571,849 SQ.FT.
5. ZONING FOR THE SUBJECT LOT IS THE RESIDENTIAL & AGRICULTURAL (R&A) DISTRICT. MINIMUM ZONING REQUIREMENTS ARE:
LOT SIZE = 2 ACRES
ROAD FRONTAGE = 200 FT.
BUILDING SETBACKS = 50 FT. FRONT, 35 FT. SIDE AND REAR
6. THE WETLANDS CONSERVATION OVERLAY ZONE (WCO) REQUIRES A 100 FEET BUFFER FROM ALL DELINEATED WETLANDS.
7. THE LOT LIES OUTSIDE THE FLOOD PLAIN OVERLAY ZONE (FPO) AND THE 100-YEAR FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, NEW HAMPSHIRE, COMMUNITY NO. 330091 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER 33011C04860 DATED SEPTEMBER 25, 2009.
8. THE LOTS LIE OUTSIDE THE AQUIFER PROTECTION OVERLAY ZONE (APO) AS DETERMINED FROM THE USGS STUDY OF DRIFT AQUIFERS IN THE NASHUA REGION, SOUTH CENTRAL NEW HAMPSHIRE, WATER RESOURCES INVESTIGATIONS REPORT 86-4358, PLATE 2.
9. THE BOUNDARY INFORMATION SHOWN FOR EXISTING LOT 41-25 WAS DEVELOPED FROM THE REFERENCE PLANS CITED HEREON TOGETHER WITH A PRECISE FIELD SURVEY BY THIS OFFICE IN NOVEMBER 2019. HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #1 AND VERTICAL DATUM IS ASSUMED.
10. TO THE BEST OF MY KNOWLEDGE AND BELIEF, TAX MAP LOT 41-25 IS NOT SUBJECT TO ANY EASEMENTS, TRAILS, OR OPEN SPACE RESTRICTIONS OTHER THAN THOSE SHOWN (IF ANY) HEREON.
11. LOT 41-25 IS CURRENTLY SERVICED BY AN INDIVIDUAL SEPTIC SYSTEM AND WATER WELL.
12. JURISDICTIONAL WETLANDS SHOWN HEREON WERE DELINEATED BY CHRISTOPHER A. GUIDA FROM THIS OFFICE DURING THE MONTHS OF JUNE, 2017 & NOVEMBER, 2019.
13. ALL ROADS, DRIVEWAYS, & BUILDINGS WITHIN 200 FEET AND ALL EXISTING EASEMENTS, TRAILS, PARKS, & OPEN SPACE WITHIN 100 FEET ARE SHOWN OR NOTED HEREON.
14. LOT 41-25 IS SUBJECT TO RIGHTS OF FLOWAGE DESCRIBED IN HCRD BK.9047 PG.1064.



ABUTTER INFORMATION:

- | | | |
|--|---|---|
| <p>MAP 41 LOT 26
THE RICHARD D. SULLIVAN, JR. AND BECKY L. SULLIVAN REVOCABLE TRUST
353 SILVER LAKE ROAD
HOLLIS, NH 03049
BK.8279 PG.2178 8/23/15
BK.8785 PG.2178 8/23/15
(353 SILVER LAKE ROAD)</p> <p>MAP 41 LOTS 28 & 44
RAISANEN HOMES ELITE LLC
P.O. BOX 748
NASHUA, NH 03061-0748
BK. 8279 PG.1840 12/30/10
BK. 9199 PG.1567 08/16/19
(SILVER LAKE ROAD)</p> <p>MAP 41 LOT 15
GREGORY A. HAYDEN
354 SILVER LAKE ROAD
HOLLIS, NH 03049
BK.5010 PG.264 10/20/88
(354 SILVER LAKE ROAD)</p> <p>MAP 41 LOT 42
JAMES P. & LYNN M. COWAN
38 TRUPELL ROAD
HOLLIS, NH 03049
BK.5957 PG.1571 6/10/98
(H.C.R.D. PLAN #9005)
(38 TRUPELL ROAD)</p> <p>MAP 41 LOT 43
ANNI HURLEY REV. TRUST AGMT
JOHN HURLEY JR., TRUSTEE
42 TRUPELL ROAD
HOLLIS, NH 03049
BK.8711 PG.955 11/24/14
(12 TRUPELL ROAD)</p> <p>MAP 41 LOT 16
SARAH A. BUCKLEY REV. TRUST
SARAH A. BUCKLEY, TRUSTEE
4 TODDY BROOK ROAD
HOLLIS, NH 03049
BK.6763 PG.1360 11/7/02
(4 TODDY BROOK ROAD)</p> | <p>MAP 41 LOT 25
TODDY BROOK INVESTMENTS, LLC
P.O. BOX 748
NASHUA, NH 03061-0748
BK.9047 PG.1064 01/31/18
BK.8279 PG.2178 8/23/15
(353 SILVER LAKE ROAD)</p> <p>MAP 41 LOT 24
HOLLIS TOWN FOREST
7 MONUMENT SQUARE
HOLLIS, NH 03049
BK.3520 PG.432 5/9/86
(SILVER LAKE ROAD)</p> <p>MAP 41 LOT 38
SCHUR FAMILY REVOCABLE TRUST
DAVID C. & LYNN E. SCHUR,
TRUSTEES
22 TRUPELL ROAD
HOLLIS, NH 03049
BK.8631 PG.870 12/19/13
(H.C.R.D. PLAN #8114)
(22 TRUPELL ROAD)</p> <p>MAP 41 LOT 36
C/O BRUCE MACDONALD, PRESIDENT
NET LEASE CAPITOL ADVISORS
10 TARA BLVD.
NASHUA, NH 03062
BK.7245 PG.531 04/09/04
(H.C.R.D. PLAN #2725)
(14 TRUPELL ROAD)</p> <p>MAP 41 LOT 41
ET REVOCABLE LIVING
TRUST AGREEMENT
ELENA TABACHNIKOFF, TRUSTEE
34 TRUPELL ROAD
HOLLIS, NH 03049
BK.8870 PG.608 6/28/16
(H.C.R.D. PLAN #2725)
(34 TRUPELL ROAD)</p> | <p>MAP 41 LOT 23
RUSSELL LAWSON
CATHY COE
P.O. BOX 536
HOLLIS, NH 03049
BK.8938 PG.2210 1/19/17
(SILVER LAKE ROAD)</p> <p>MAP 42 LOT 1
MATTHEW A. & KAREN A. BELMONTE
48 TRUPELL ROAD
HOLLIS, NH 03049
BK.8755 PG.2609 5/28/15
(46 TRUPELL ROAD)</p> <p>MAP 42 LOT 2
ALAN B. & SHEILA A. WARREN
50 TRUPELL ROAD
HOLLIS, NH 03049
BK.8853 PG.823 4/18/16
(50 TRUPELL ROAD)</p> <p>MAP 42 LOT 6-1
RICHARD P. & JAMIE L. MODELSKI
66-1 TRUPELL ROAD
HOLLIS, NH 03049
BK.6094 PG.1139 4/29/99
(66-1 TRUPELL ROAD)</p> <p>MAP 42 LOT 6-2
BARRY J. & ANGELA B. JOHNSON
66-2 TRUPELL ROAD
HOLLIS, NH 03049
BK.6019 PG.1390 11/6/98
(66-2 TRUPELL ROAD)</p> <p>MAP 41 LOT 39
PHILIP G. & JANET E. FOTOS
26 TRUPELL ROAD
HOLLIS, NH 03049
BK.6139 PG.124 7/30/99
(H.C.R.D. PLAN #2725)
(26 TRUPELL ROAD)</p> |
|--|---|---|



REV.	DATE	PER PLANNING BOARD DESCRIPTION	C/O	DSL	NRC
A	6/27/22		-		

OVERALL CONDOMINIUM PLAN
TODDY BROOK ESTATES
 TAX MAP 41 LOTS 25, 28 & 44
 (SILVER LAKE ROAD)
 HOLLIS, NEW HAMPSHIRE
 PREPARED FOR AND LAND OF:
TODDY BROOK INVESTMENTS, LLC
 P.O. BOX 748, NASHUA, NH 03061-0748 (LOT 41-25)
 AND LAND OF:
RAISANEN HOMES ELITE LLC
 P.O. BOX 748, NASHUA, NH 03061-0748 (LOTS 41-28 & 41-44)
 SCALE: 1" = 100' JULY 23, 2021

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
 LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
 Phone: (603) 672-5456 Fax: (603) 413-5456
 www.FieldstoneLandConsultants.com

APPROVED BY THE HOLLIS PLANNING BOARD
 ON: _____ CERTIFIED BY _____ AND _____
 CHAIRMAN: _____ SECRETARY: _____

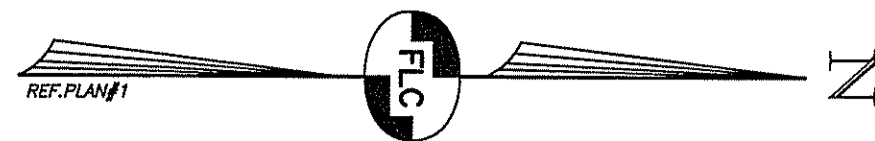
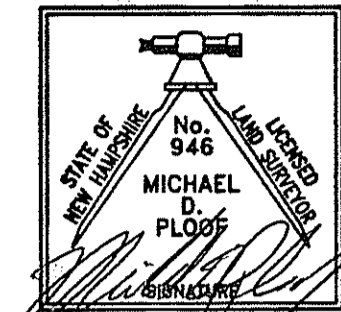
SEE SHEET SP-1 FOR PROPOSED DEVELOPMENT NOTES.

SEE SHEET CD-1 FOR NOTES AND ABUTTER INFORMATION.
SEE SHEET CD-3 FOR LEGEND.
SEE SHEET SP-1 FOR PROPOSED DEVELOPMENT NOTES.

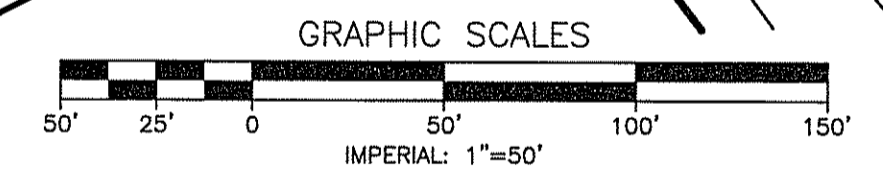
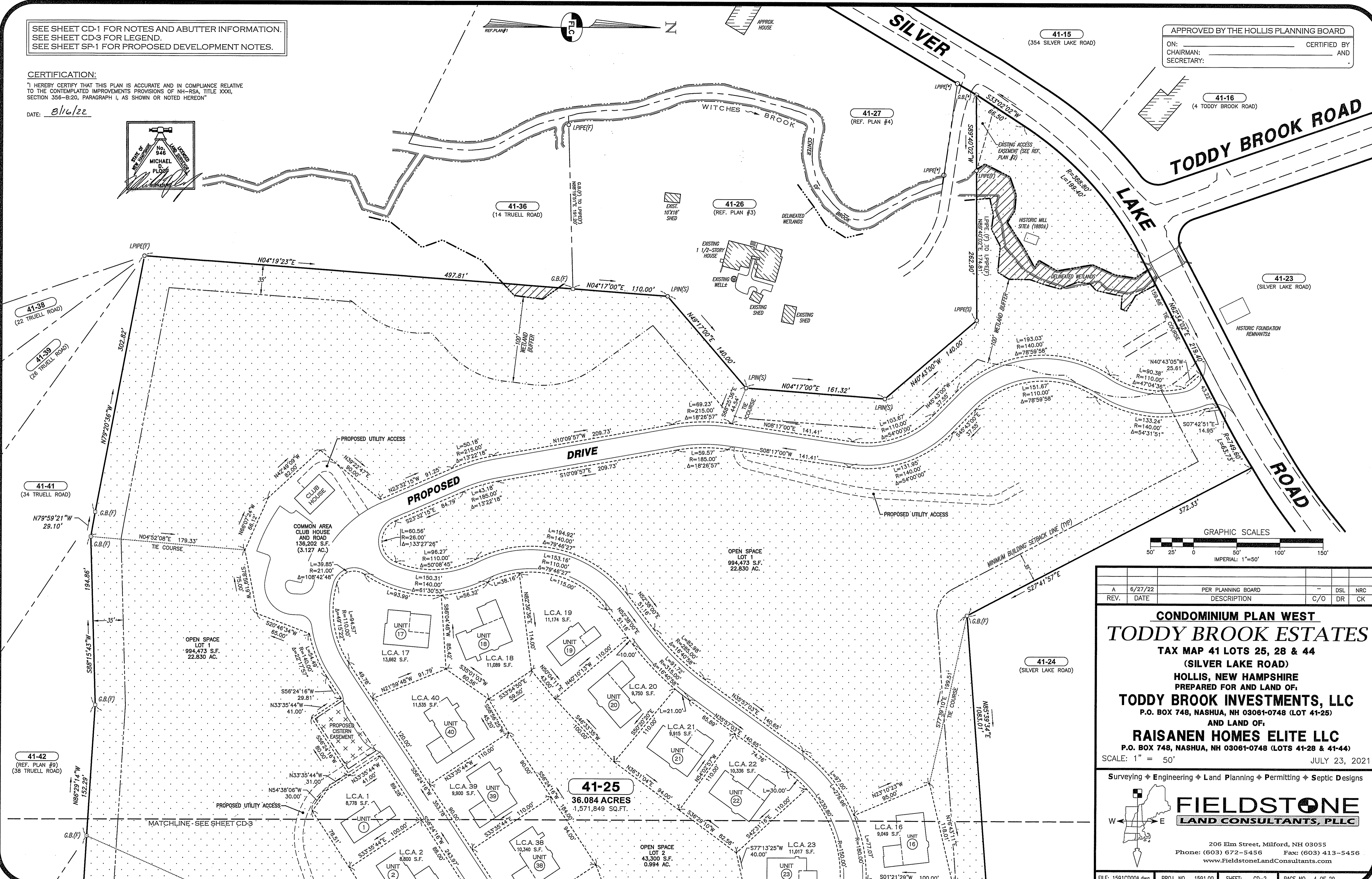
CERTIFICATION:

I, HEREBY CERTIFY THAT THIS PLAN IS ACCURATE AND IN COMPLIANCE RELATIVE TO THE CONTEMPLATED IMPROVEMENTS PROVISIONS OF NH-RSA, TITLE XXXI, SECTION 356-B:20, PARAGRAPH I, AS SHOWN OR NOTED HEREON.

DATE: 8/16/22



APPROVED BY THE HOLLIS PLANNING BOARD
ON: _____ CERTIFIED BY
CHAIRMAN: _____ AND
SECRETARY: _____



REV.	DATE	DESCRIPTION	DR	CK
A	6/27/22	PER PLANNING BOARD	-	-
			DSL	NRC
			C/O	DR

CONDOMINIUM PLAN WEST
TODDY BROOK ESTATES
TAX MAP 41 LOTS 25, 28 & 44
(SILVER LAKE ROAD)
HOLLIS, NEW HAMPSHIRE
PREPARED FOR AND LAND OF:
TODDY BROOK INVESTMENTS, LLC
P.O. BOX 748, NASHUA, NH 03061-0748 (LOT 41-25)
AND LAND OF:
RAISANEN HOMES ELITE LLC
P.O. BOX 748, NASHUA, NH 03061-0748 (LOTS 41-28 & 41-44)
SCALE: 1" = 50' JULY 23, 2021

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FILE: 1591CD00A.dwg PROJ. NO. 1591.00 SHEET: CD-2 PAGE NO. 4 OF 29

41-42
(REF. PLAN #9)
(38 TRUPELL ROAD)

41-43
(REF. PLAN #8)
(42 TRUPELL ROAD)

42-1
(REF. PLAN #6)
(46 TRUPELL ROAD)

42-2
(REF. PLAN #6)
(50 TRUPELL ROAD)

42-6-1
(REF. PLAN #7)
(66-1 TRUPELL ROAD)

41-25
36.084 ACRES
1,571,849 SQ.FT.

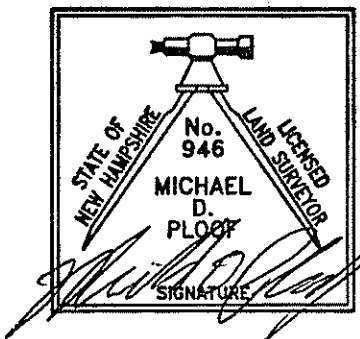
LEGEND:

- EXISTING FEATURES
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - ABUTTING LOT LINE
 - BUILDING SETBACK LINE
 - EDGE OF PAVED ROAD
 - EDGE OF GRAVEL ROAD
 - EDGE OF WETLANDS
 - WETLANDS BUFFER LINE
 - EXISTING EASEMENT LINE
- PROPOSED FEATURES
- OPEN SPACE
 - CISTERN EASEMENT
 - EASEMENT LINE
 - L.C.A. LIMITED COMMON AREA
 - LIMITED COMMON AREA LINE
 - LENGTH OF ARC
 - UNIT NUMBER
 - CONDOMINIUM UNIT
- 45-50
- G.B.(F) GRANITE BOUND FOUND
 - G.B.(*) GRANITE BOUND PER REF.PLAN
 - IPPE(F) IRON PIPE FOUND
 - IPPE(*) IRON PIPE PER REF.PLAN
 - IPIN(S) IRON PIN SET

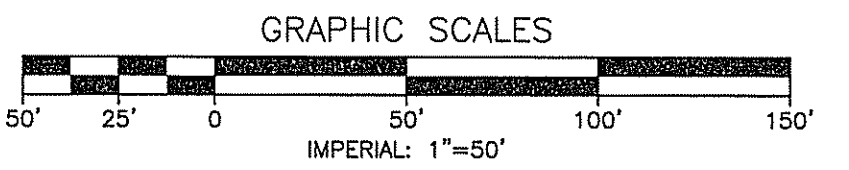
CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN IS ACCURATE AND IN COMPLIANCE RELATIVE TO THE CONTEMPLATED IMPROVEMENTS PROVISIONS OF NH-RSA, TITLE XXXI, SECTION 356-B:20, PARAGRAPH 1, AS SHOWN OR NOTED HEREON

DATE: 8/16/22



SEE SHEET CD-1 FOR NOTES AND ABUTTER INFORMATION.
SEE SHEET SP-1 FOR PROPOSED DEVELOPMENT NOTES.



A	6/27/22	PER PLANNING BOARD	-	DSL	NRC
REV.	DATE	DESCRIPTION	C/O	DR	CK

CONDOMINIUM PLAN EAST
TODDY BROOK ESTATES
 TAX MAP 41 LOTS 25, 28 & 44
 (SILVER LAKE ROAD)
 HOLLIS, NEW HAMPSHIRE
 PREPARED FOR AND LAND OF:
TODDY BROOK INVESTMENTS, LLC
 P.O. BOX 748, NASHUA, NH 03061-0748 (LOT 41-25)
 AND LAND OF:
RAISANEN HOMES ELITE LLC
 P.O. BOX 748, NASHUA, NH 03061-0748 (LOTS 41-28 & 41-44)
 SCALE: 1" = 50' JULY 23, 2021

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APPROVED BY THE HOLLIS PLANNING BOARD

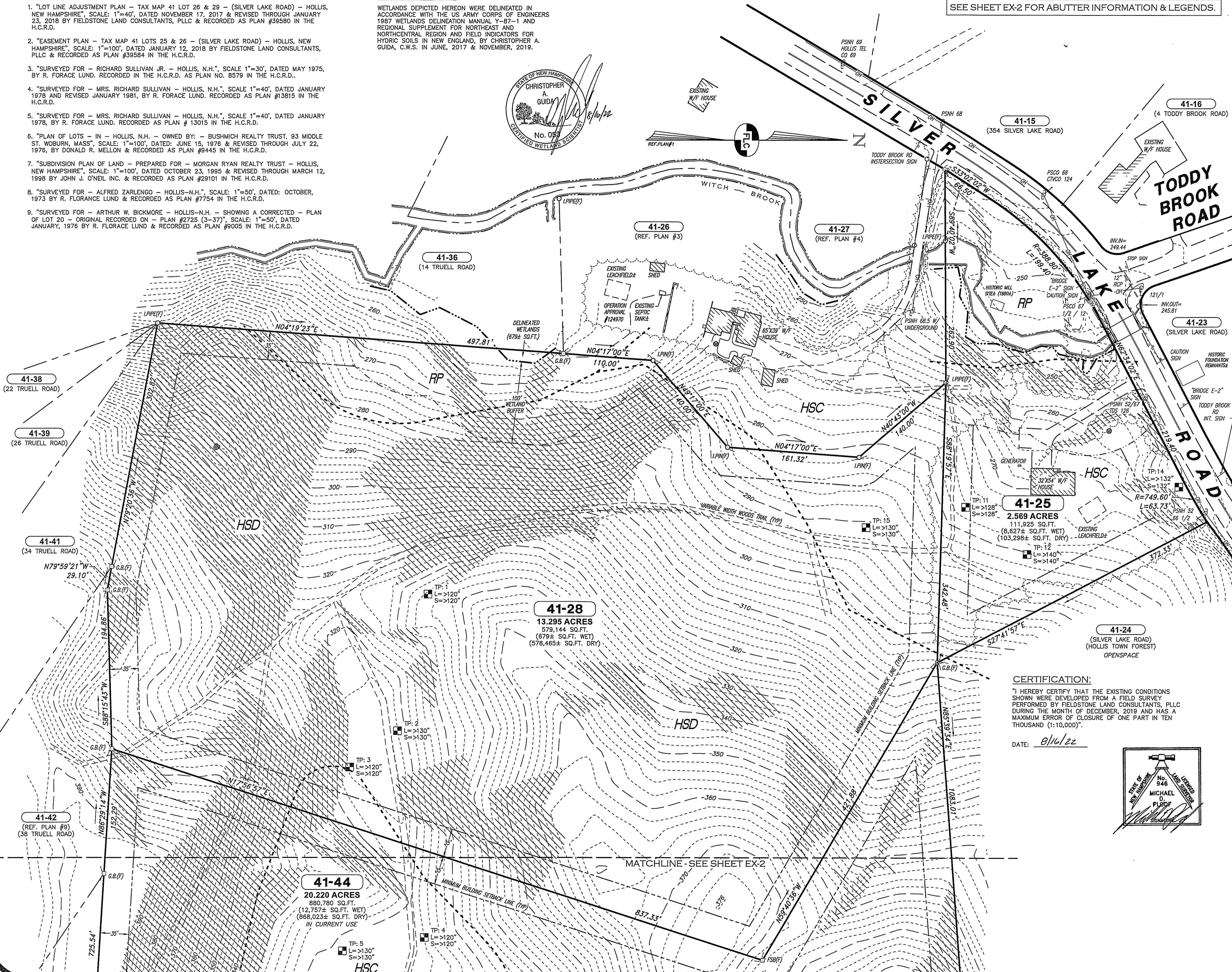
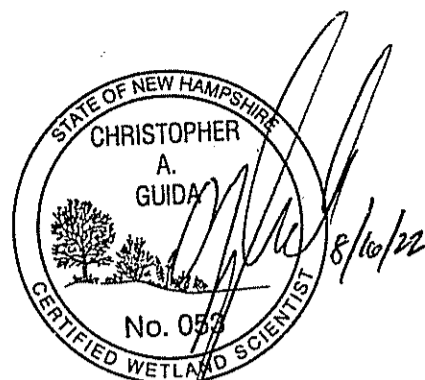
ON: _____ CERTIFIED BY _____ AND _____
 CHAIRMAN: _____ SECRETARY: _____

REFERENCE PLANS:

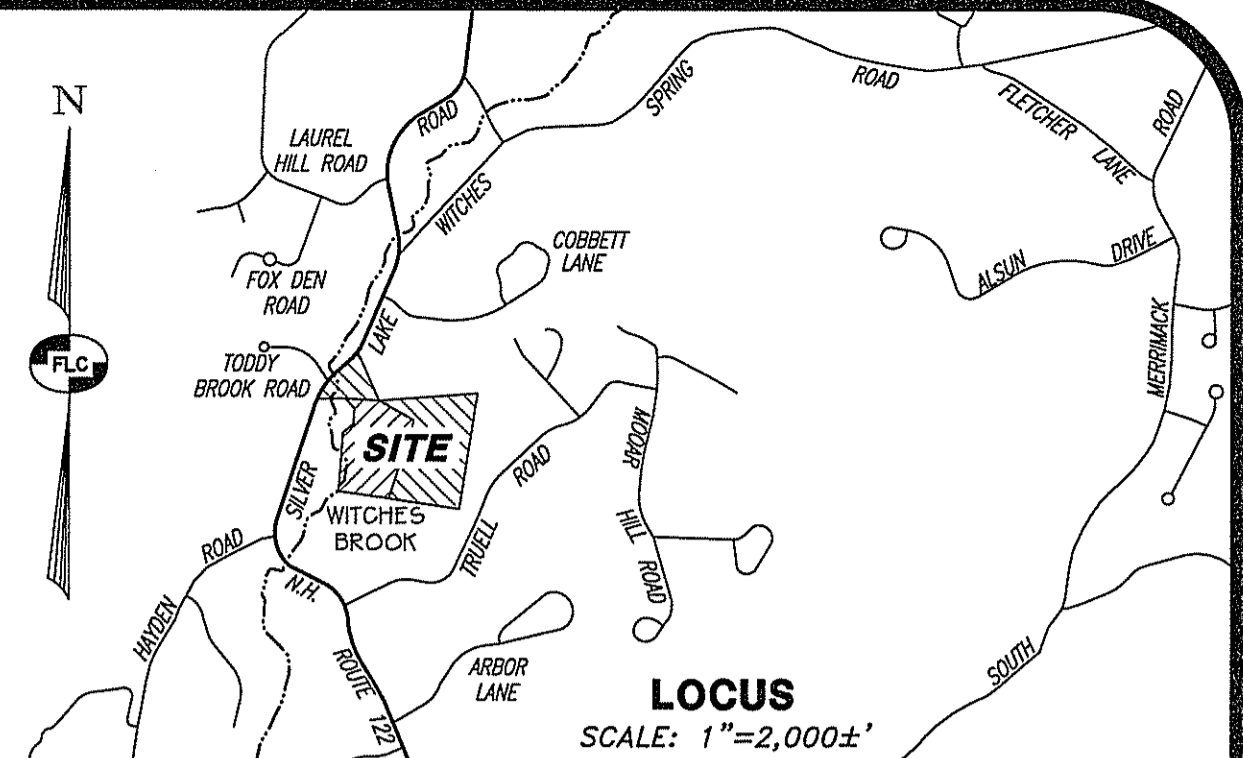
- "LOT LINE ADJUSTMENT PLAN - TAX MAP 41 LOT 26 & 29 - (SILVER LAKE ROAD) - HOLLIS, NEW HAMPSHIRE, SCALE: 1"=40', DATED NOVEMBER 17, 2017 & REVISED THROUGH JANUARY 23, 2018 BY FIELDSTONE LAND CONSULTANTS, PLLC & RECORDED AS PLAN #39580 IN THE H.C.R.D.
- "EASEMENT PLAN - TAX MAP 41 LOTS 25 & 26 - (SILVER LAKE ROAD) - HOLLIS, NEW HAMPSHIRE, SCALE: 1"=100', DATED JANUARY 12, 2018 BY FIELDSTONE LAND CONSULTANTS, PLLC & RECORDED AS PLAN #39584 IN THE H.C.R.D.
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- "SURVEYED FOR - MRS. RICHARD SULLIVAN - HOLLIS, N.H., SCALE 1"=40', DATED JANUARY 1978 AND REVISED JANUARY 1981, BY R. FORACE LUND, RECORDED AS PLAN #13815 IN THE H.C.R.D.
- "SURVEYED FOR - MRS. RICHARD SULLIVAN - HOLLIS, N.H., SCALE 1"=40', DATED JANUARY 1978, BY R. FORACE LUND, RECORDED AS PLAN # 13015 IN THE H.C.R.D.
- "PLAN OF LOTS - IN - HOLLIS, N.H. - OWNED BY - BUSHMICH REALTY TRUST, 93 MIDDLE ST. WOBURN, MASS, SCALE: 1"=100', DATED: JUNE 15, 1976 & REVISED THROUGH JULY 22, 1976, BY DONALD R. MELLON & RECORDED AS PLAN #9445 IN THE H.C.R.D.
- "SUBDIVISION PLAN OF LAND - PREPARED FOR - MORGAN RYAN REALTY TRUST - HOLLIS, NEW HAMPSHIRE, SCALE: 1"=100', DATED OCTOBER 23, 1995 & REVISED THROUGH MARCH 12, 1998 BY JOHN J. O'NEIL INC. & RECORDED AS PLAN #29101 IN THE H.C.R.D.
- "SURVEYED FOR - ALFRED ZARLENGO - HOLLIS-N.H., SCALE: 1"=50', DATED: OCTOBER, 1973 BY R. FLORANCE LUND & RECORDED AS PLAN #7754 IN THE H.C.R.D.
- "SURVEYED FOR - ARTHUR W. BICKMORE - HOLLIS-N.H. - SHOWING A CORRECTED - PLAN OF LOT 20 - ORIGINAL RECORDED ON - PLAN #2725 (3-37), SCALE: 1"=50', DATED JANUARY, 1976 BY R. FLORANCE LUND & RECORDED AS PLAN #9005 IN THE H.C.R.D.

CERTIFICATION:

WETLANDS DEPICTED HEREON WERE DELINEATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTH-CENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S. IN JUNE, 2017 & NOVEMBER, 2019.

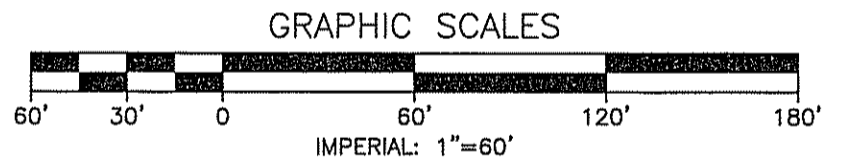


SEE SHEET EX-2 FOR ABUTTER INFORMATION & LEGENDS.



NOTES:

- THE OWNER OF RECORD FOR TAX MAP LOT 41-25 IS TODDY BROOK INVESTMENTS, LLC - P.O. BOX 748, NASHUA, NH 03061-0748. DEED REFERENCE FOR THE LOT IS BK.9047 PG.1064 DATED JANUARY 31, 2018 IN THE H.C.R.D.
THE OWNER OF RECORD FOR TAX MAP LOTS 41-44 & 41-28 IS RAISANEN HOMES ELITE LLC - P.O. BOX 748, NASHUA, NH 03061-0748. DEED REFERENCES FOR THE LOTS ARE BK.9199 PG.1567 DATED AUGUST 16, 2019 & BK.8279 PG.1840 DATED DECEMBER 30, 2010 IN THE H.C.R.D.
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS ON TAX MAP LOTS 41-25, 41-28 & 41-44 AS SHOWN.
- THE EXISTING AREA OF LOT 41-44 IS 20.220 ACRES, OR 880,780 SQ.FT. THE EXISTING AREA OF LOT 41-28 IS 13.295 ACRES, OR 579,144 SQ.FT. THE EXISTING AREA FOR LOT 41-25 IS 2.569 ACRES OR 111,925 SQ.FT.
- ZONING FOR THE SUBJECT LOTS IS THE RESIDENTIAL & AGRICULTURAL (R&A) DISTRICT. MINIMUM ZONING REQUIREMENTS ARE:
LOT SIZE = 2 ACRES
ROAD FRONTAGE = 200 FT.
BUILDING SETBACKS = 50 FT. FRONT, 35 FT. SIDE AND REAR
- THE WETLANDS CONSERVATION OVERLAY ZONE (WCO) REQUIRES A 100 FT. BUFFER FROM ALL DELINEATED WETLANDS.
- THE LOTS LIE OUTSIDE THE FLOOD PLAIN OVERLAY ZONE (FPO) AND THE 100-YEAR FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, NEW HAMPSHIRE, COMMUNITY NO. 330091 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER 330110486D DATED SEPTEMBER 25, 2009.
- THE LOTS LIE OUTSIDE THE AQUIFER PROTECTION OVERLAY ZONE (APO) AS DETERMINED FROM THE USGS STUDY OF DRIFT AQUIFERS IN THE NASHUA REGION, SOUTH CENTRAL NEW HAMPSHIRE, WATER RESOURCES INVESTIGATIONS REPORT 86-435B, PLATE 2.
- THE BOUNDARY INFORMATION SHOWN FOR EXISTING LOT 41-25 WAS DEVELOPED FROM THE REFERENCE PLANS CITED HEREON TOGETHER WITH A PRECISE FIELD SURVEY BY THIS OFFICE IN NOVEMBER 2019. HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #1 AND VERTICAL DATUM IS ASSUMED.
- TO THE BEST OF MY KNOWLEDGE AND BELIEF, TAX MAP LOTS 41-25, 41-28, & 41-44 ARE NOT SUBJECT TO ANY EASEMENTS, TRAILS, OR OPEN SPACE RESTRICTIONS OTHER THAN THOSE SHOWN (IF ANY) HEREON.
- LOT 41-25 IS SERVICED BY AN INDIVIDUAL SEPTIC SYSTEM AND WATER WELL. LOTS 41-28 & 41-44 ARE VACANT AND UNIMPROVED.
- JURISDICTIONAL WETLANDS SHOWN HEREON WERE DELINEATED BY CHRISTOPHER A. GUIDA FROM THIS OFFICE DURING THE MONTHS OF JUNE, 2017 & NOVEMBER, 2019.
- ALL ROADS, DRIVEWAYS, & BUILDINGS WITHIN 200 FEET AND ALL EXISTING EASEMENTS, TRAILS, PARKS, & OPEN SPACE WITHIN 100 FEET ARE SHOWN OR NOTED HEREON.
- LOT 41-25 IS SUBJECT TO RIGHTS OF FLOWAGE DESCRIBED IN HCRD BK.9047 PG.1064.



REV.	DATE	DESCRIPTION	C/O	DR	CK
B	6/27/22	TEST PITS		DSL	MDP
A	1/23/18	SET MONUMENTS ON 1/2/18		TJB	MDP

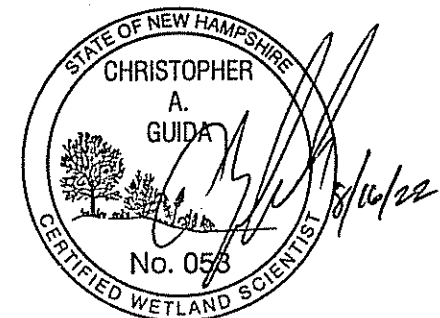
EXISTING CONDITIONS PLAN WEST
TODDY BROOK ESTATES
TAX MAP 41 LOTS 25, 28, & 44
(SILVER LAKE ROAD)
HOLLIS, NEW HAMPSHIRE
 PREPARED FOR AND LAND OF:
TODDY BROOK INVESTMENTS, LLC
 P.O. BOX 748, NASHUA, NH 03061-0748 (LOT 41-25)
 AND LAND OF:
RAISANEN HOMES ELITE LLC
 P.O. BOX 748, NASHUA, NH 03061-0748 (LOTS 41-28 & 41-44)

SCALE: 1" = 60' MARCH 26, 2020

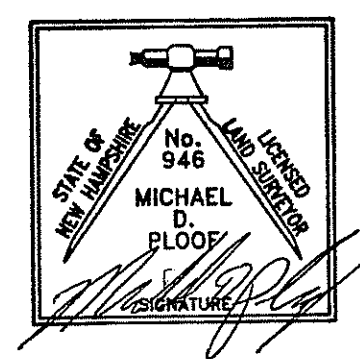
Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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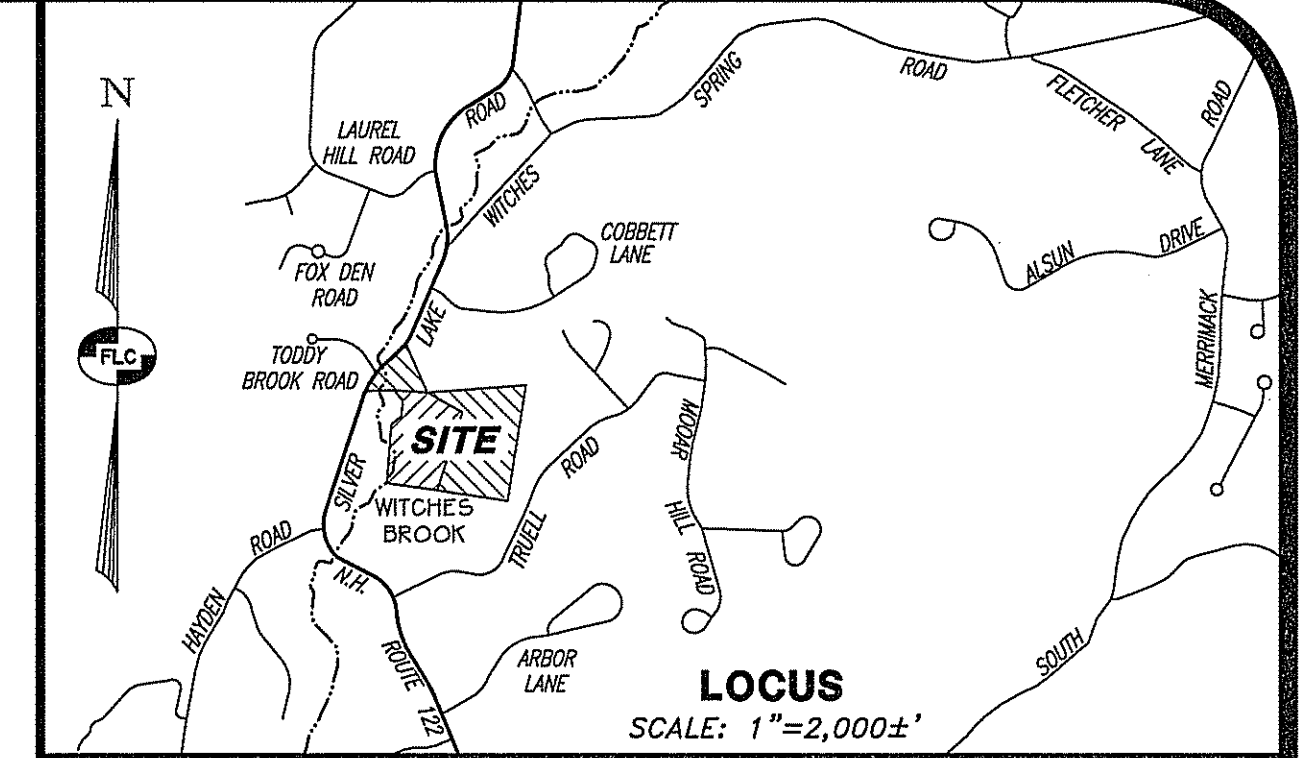
CERTIFICATION:
 WETLANDS DEPICTED HEREON WERE DELINEATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTH-CENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S. IN JUNE, 2017 & NOVEMBER, 2019.



CERTIFICATION:
 I HEREBY CERTIFY THAT THE EXISTING CONDITIONS SHOWN WERE DEVELOPED FROM A FIELD SURVEY PERFORMED BY FIELDSTONE LAND CONSULTANTS, PLLC DURING THE MONTH OF DECEMBER, 2019 AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000).
 DATE: 8/16/22



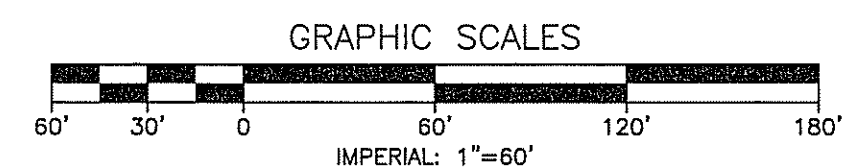
- LEGEND:**
- EXISTING FEATURES**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - - - ABUTTING LOT LINE
 - - - EDGE OF WETLANDS
 - - - WETLAND BUFFER LINE
 - - - SETBACK LINE
 - - - EDGE OF PAVED ROAD
 - - - EDGE OF GRAVEL ROAD
 - STONE WALL
 - BARBED WIRE FENCE
 - DRAINAGE CULVERT
 - 380 10' CONTOUR INTERVAL
 - 382 2' CONTOUR INTERVAL
 - TREE LINE
 - GRANITE BOUND FOUND
 - GRANITE BOUND PER REF.PLAN
 - IRON PIPE FOUND
 - IRON PIPE PER REF.PLAN
 - UTILITY POLE & GUY
 - CATCH BASIN (SQUARE)
 - LIGHT
 - BOLLARD
 - SINGLE POST SIGN
 - DOUBLE POST SIGN
 - UTILITY POLE AND GUY WIRE
 - OVERHEAD UTILITY POLE WITH POLE NUMBER(S)
 - ▭ BUILDING
 - ▭ SLOPES >25%



- ABUTTER INFORMATION:**
- | | | |
|--|---|---|
| <p>MAP 41 LOT 26
THE RICHARD D. SULLIVAN, JR. AND BECKY SULLIVAN REVOCABLE TRUST
353 SILVER LAKE ROAD
HOLLIS, NH 03049
BK.8785 PG.2178 8/23/15
UTILITY POLE & GUY
(353 SILVER LAKE ROAD)</p> <p>MAP 41 LOTS 28 & 44
RAISANEN HOMES ELITE LLC
P.O. BOX 748
NASHUA, NH 03061-0748
BK. 8279 PG.1840 12/30/10
BK. 9199 PG.1587 08/16/19
(SILVER LAKE ROAD)</p> <p>MAP 41 LOT 15
GREGORY A. HAYDEN
354 SILVER LAKE ROAD
HOLLIS, NH 03049
BK.8631 PG.870 12/19/13
(H.C.R.D. PLAN #8114)
(22 TRUPELL ROAD)</p> <p>MAP 41 LOT 42
JAMES P. & LYNN M. COWAN
38 TRUPELL ROAD
HOLLIS, NH 03049
BK.5957 PG.1571 6/10/98
(H.C.R.D. PLAN #9005)
(38 TRUPELL ROAD)</p> <p>MAP 41 LOT 43
ANNI HURLEY REV. TRUST AGMT
JOHN HURLEY JR., TRUSTEE
ANNI HURLEY, TRUSTEE
42 TRUPELL ROAD
HOLLIS, NH 03049
BK.8711 PG.955 11/24/14
(12 TRUPELL ROAD)</p> <p>MAP 41 LOT 16
SARAH A. BUCKLEY REV. TRUST
SARAH A. BUCKLEY, TRUSTEE
4 TODDY BROOK ROAD
HOLLIS, NH 03049
BK.6783 PG.1360 11/7/02
(4 TODDY BROOK ROAD)</p> | <p>MAP 41 LOT 25
TODDY BROOK INVESTMENTS, LLC
P.O. BOX 748
NASHUA, NH 03061-0748
BK.9047 PG.1064 01/31/18
(365 SILVER LAKE ROAD)</p> <p>MAP 41 LOT 24
HOLLIS TOWN FOREST
7 MONUMENT SQUARE
HOLLIS, NH 03049
BK.3520 PG.432 5/9/86
(SILVER LAKE ROAD)</p> <p>MAP 41 LOT 38
SCHUR FAMILY REVOCABLE TRUST
DAVID C. & LYNN E. SCHUR, TRUSTEES
22 TRUPELL ROAD
HOLLIS, NH 03049
BK.8631 PG.870 12/19/13
(H.C.R.D. PLAN #8114)
(22 TRUPELL ROAD)</p> <p>MAP 41 LOT 36
14 TRUPELL ROAD LLC
C/O BRUCE MACDONALD, PRESIDENT
NET LEASE CAPITOL ADVISORS
10 TARA BLVD.
NASHUA, NH 03062
BK.7245 PG.531 04/09/04
(H.C.R.D. PLAN #2725)
(14 TRUPELL ROAD)</p> <p>MAP 41 LOT 41
ET REVOCABLE LIVING TRUST AGREEMENT
ELENA TABACHNIKOFF, TRUSTEE
34 TRUPELL ROAD
HOLLIS, NH 03049
BK.8870 PG.608 6/28/16
(H.C.R.D. PLAN #2725)
(34 TRUPELL ROAD)</p> | <p>MAP 41 LOT 23
RUSSELL LAWSON
CATHY COE
P.O. BOX 536
HOLLIS, NH 03049
BK.8938 PG.2210 1/19/17
(SILVER LAKE ROAD)</p> <p>MAP 42 LOT 1
MATTHEW A. & KAREN A. BELMONTE
46 TRUPELL ROAD
HOLLIS, NH 03049
BK.8853 PG.823 4/18/16
(46 TRUPELL ROAD)</p> <p>MAP 42 LOT 2
DAVID C. & SHEILA A. WARREN
50 TRUPELL ROAD
HOLLIS, NH 03049
BK.8853 PG.823 4/18/16
(50 TRUPELL ROAD)</p> <p>MAP 42 LOT 6-1
RICHARD P. & JAMIE L. MODELSKI
66-1 TRUPELL ROAD
HOLLIS, NH 03049
BK.6094 PG.1139 4/29/99
(66-1 TRUPELL ROAD)</p> <p>MAP 42 LOT 6-2
BARRY J. & ANGEL A. B. JOHNSON
66-2 TRUPELL ROAD
HOLLIS, NH 03049
BK.6019 PG.1390 11/6/98
(66-2 TRUPELL ROAD)</p> <p>MAP 41 LOT 39
PHILIP G. & JANET E. FOTOS
26 TRUPELL ROAD
HOLLIS, NH 03049
BK.6139 PG.124 7/30/99
(H.C.R.D. PLAN #2725)
(26 TRUPELL ROAD)</p> |
|--|---|---|

- NRCS SOILS LEGEND:**
 SOURCE: USDA NRCS WEB SOIL SURVEY
- - - SOIL BOUNDARY
 - HsC HINCKLEY LOAMY SAND 8 TO 15% SLOPES
 - HsD HINCKLEY LOAMY SAND 15 TO 35% SLOPES
 - Rp RIPPONHAM FINE SANDY LOAM

SEE SHEET EX-1 FOR NOTES, REFERENCE PLANS.



REV.	DATE	DESCRIPTION	C/O	DR	CK
B	6/27/22	TEST PITS			DSL MDP
A	1/23/18	SET MONUMENTS ON 1/2/18			TJB MDP

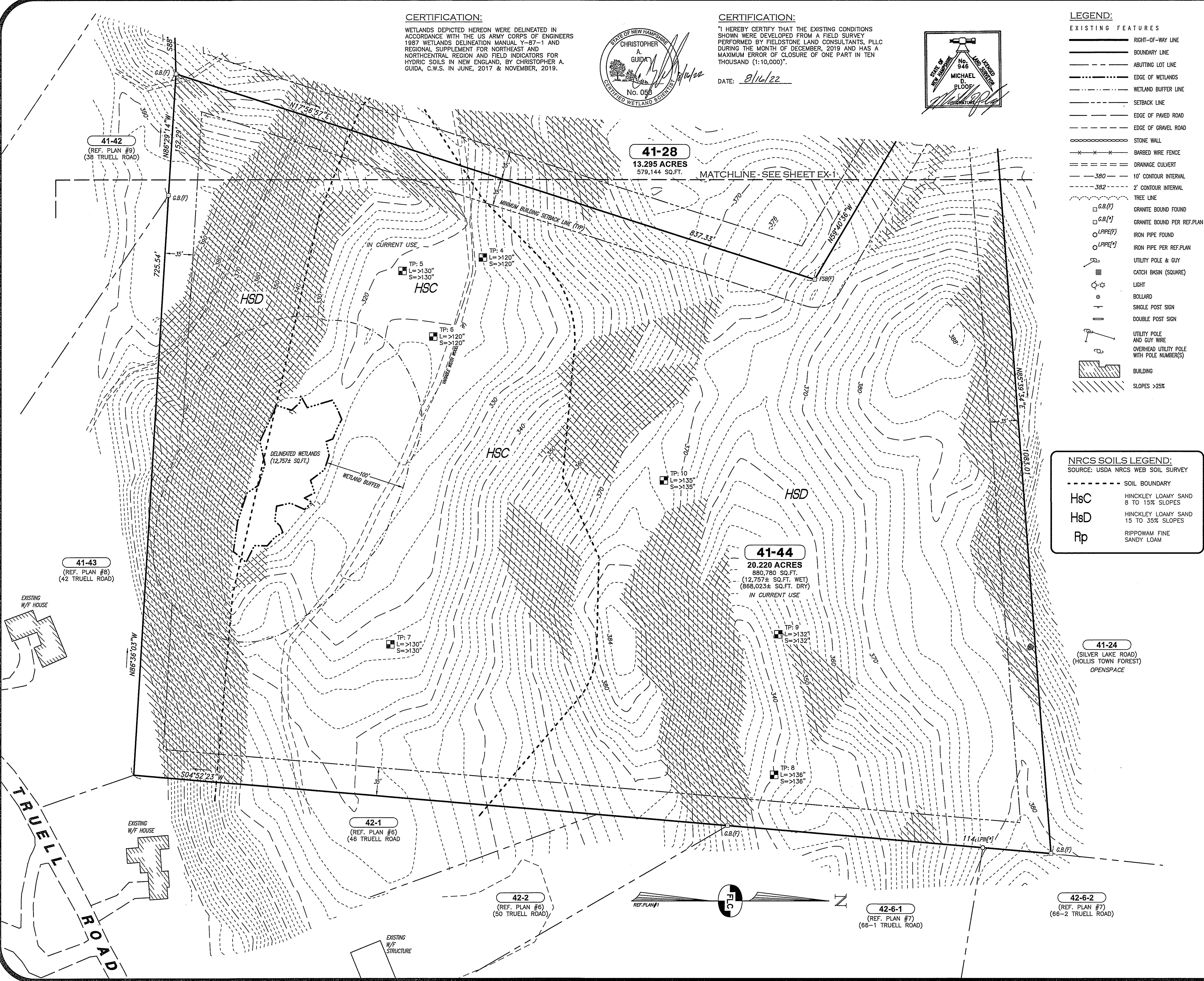
EXISTING CONDITIONS PLAN EAST
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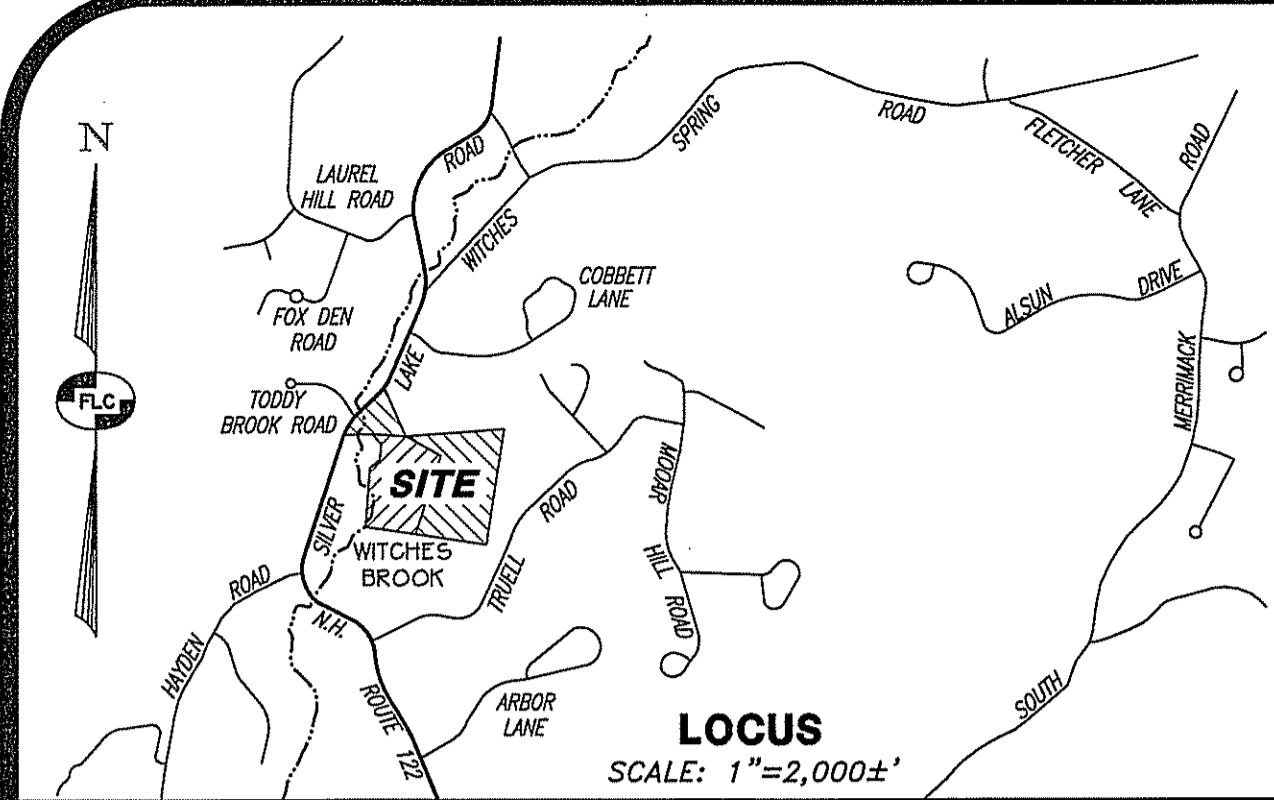
SCALE: 1" = 60' MARCH 26, 2020

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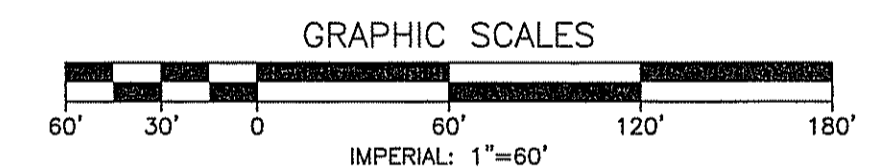
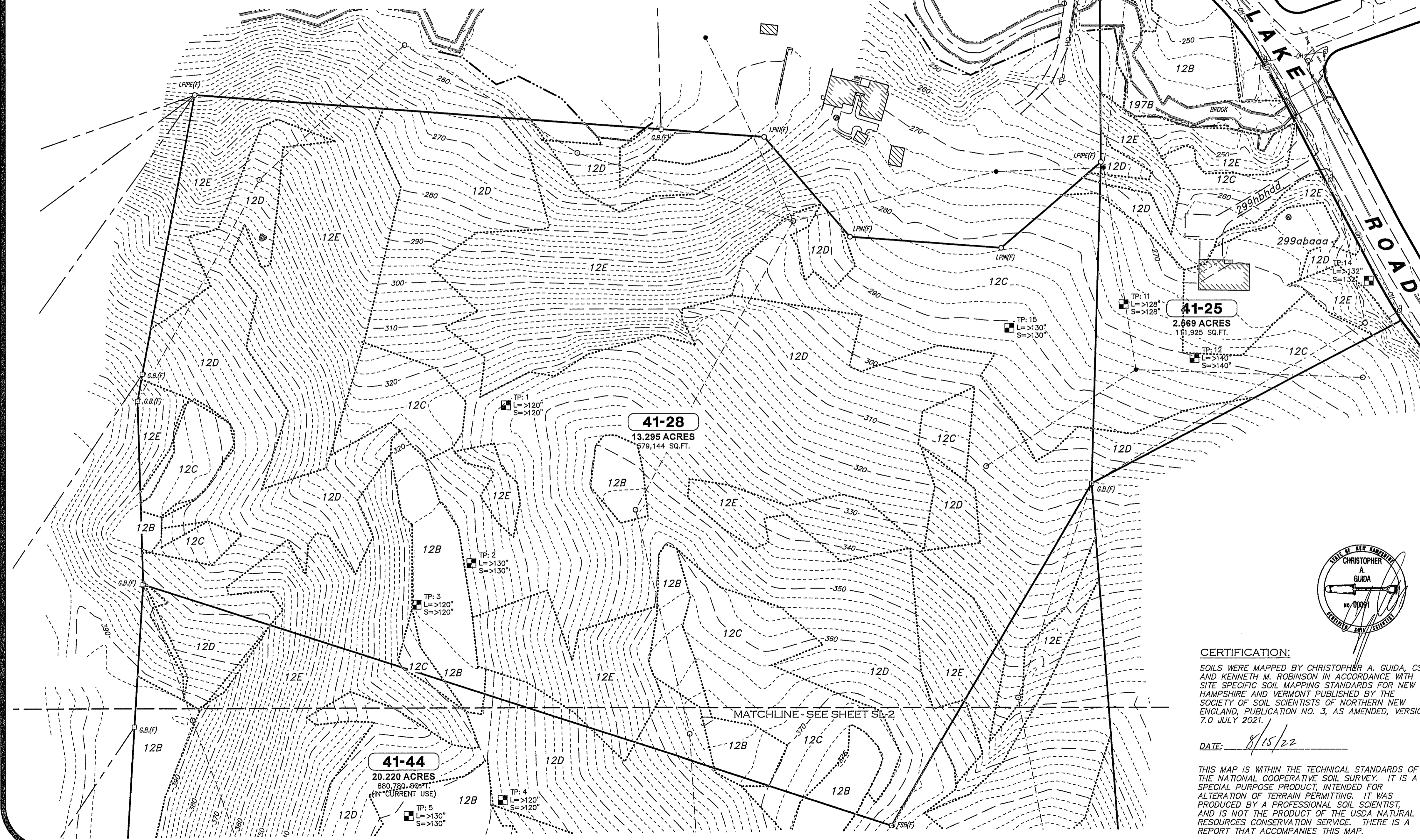


- REFERENCE PLANS:**
- "LOT LINE ADJUSTMENT PLAN - TAX MAP 41 LOT 26 & 29 - (SILVER LAKE ROAD) - HOLLIS, NEW HAMPSHIRE, SCALE: 1"=40', DATED NOVEMBER 17, 2017 & REVISED THROUGH JANUARY 23, 2018 BY FIELDSTONE LAND CONSULTANTS, PLLC & RECORDED AS PLAN #39580 IN THE H.C.R.D.
 - "EASEMENT PLAN - TAX MAP 41 LOTS 25 & 26 - (SILVER LAKE ROAD) - HOLLIS, NEW HAMPSHIRE, SCALE: 1"=100', DATED JANUARY 12, 2018 BY FIELDSTONE LAND CONSULTANTS, PLLC & RECORDED AS PLAN #39584 IN THE H.C.R.D.
 - "SURVEYED FOR - RICHARD SULLIVAN JR. - HOLLIS, N.H., SCALE 1"=30', DATED MAY 1975, BY R. FORACE LUND. RECORDED IN THE H.C.R.D. AS PLAN NO. 8579 IN THE H.C.R.D..
 - "SURVEYED FOR - MRS. RICHARD SULLIVAN - HOLLIS, N.H., SCALE 1"=40', DATED JANUARY 1978 AND REVISED JANUARY 1981, BY R. FORACE LUND. RECORDED AS PLAN #13815 IN THE H.C.R.D.
 - "SURVEYED FOR - MRS. RICHARD SULLIVAN - HOLLIS, N.H., SCALE 1"=40', DATED JANUARY 1978, BY R. FORACE LUND. RECORDED AS PLAN # 13015 IN THE H.C.R.D.
 - "PLAN OF LOTS - IN - HOLLIS, N.H. - OWNED BY: - BUSHMICH REALTY TRUST, 93 MIDDLE ST. WOBURN, MASS, SCALE: 1"=100', DATED: JUNE 15, 1976 & REVISED THROUGH JULY 22, 1976, BY DONALD R. MELLON & RECORDED AS PLAN #9445 IN THE H.C.R.D.
 - "SUBDIVISION PLAN OF LAND - PREPARED FOR - MORGAN RYAN REALTY TRUST - HOLLIS, NEW HAMPSHIRE, SCALE: 1"=100', DATED OCTOBER 23, 1995 & REVISED THROUGH MARCH 12, 1998 BY JOHN J. O'NEIL INC. & RECORDED AS PLAN #29101 IN THE H.C.R.D.
 - "SURVEYED FOR - ALFRED ZARLENGO - HOLLIS-N.H., SCALE: 1"=50', DATED: OCTOBER, 1973 BY R. FLORANCE LUND & RECORDED AS PLAN #7754 IN THE H.C.R.D.
 - "SURVEYED FOR - ARTHUR W. BICKMORE - HOLLIS-N.H. - SHOWING A CORRECTED - PLAN OF LOT 20 - ORIGINAL RECORDED ON - PLAN #2725 (3-37), SCALE: 1"=50', DATED JANUARY, 1976 BY R. FLORANCE LUND & RECORDED AS PLAN #9005 IN THE H.C.R.D.

NUMBER:	SOIL MAP UNIT NAME:	DRAINAGE CLASS:	HYDROLOGIC SOIL GROUP:	SOIL SLOPE SUFFIX:
12	HINKLEY - LOAMY SAND	EXCESSIVELY DRAINED	A	0-8% SLOPES
197	BOROHEMISTS, PONDED	VERY POORLY DRAINED	D	8-15% SLOPES
212	HINKLEY, GRAVELLY - LOAMY SAND	EXCESSIVELY DRAINED	A	15-25% SLOPES
299	UDORTHEITS, SMOOTHED - DISTURBED	EXCESSIVELY DRAINED	A	>25% SLOPES

SITE SPECIFIC DISTURBED SOIL SUPPLEMENT DENOMINATOR KEY

- THE SOIL TYPES ARE DEFINED BY SOIL CHARACTERISTICS AND DESIGNATED WITH A FIVE PART SYMBOL. 500A/12345
- PARENT MATERIAL RESTRICTIVE/IMPERVIOUS LAYERS ESTIMATED Ksat HYDROLOGIC SOIL GROUP
- SYMBOL 1 - DRAINAGE CLASS**
- a - EXCESSIVELY DRAINED
 - b - SOMEWHAT EXCESSIVELY DRAINED
 - c - WELL DRAINED
 - d - MODERATELY WELL DRAINED
 - e - SOMEWHAT POORLY DRAINED
 - f - POORLY DRAINED
 - g - VERY POORLY DRAINED
 - h - NOT DETERMINED
- SYMBOL 2 - PARENT MATERIAL (NATURALLY FORMED SOIL ONLY, IF PRESENT)**
- a - NO NATURAL SOIL WITHIN 60"
 - b - GLACIOFLUVIAL DEPOSITS (OUTWASH/TERRACES OF SAND AND GRAVEL)
 - c - GLACIAL TILL MATERIAL (ACTIVE ICE)
 - d - VERY FINE SAND AND SILT DEPOSITS (GLACIAL LAKES)
 - e - LOAMY/SANDY OVER SILT/CLAY DEPOSITS
 - f - MARINE SILT AND CLAY DEPOSITS (OCEAN WATERS)
 - g - ALLUVIAL DEPOSITS (FLOODPLAINS)
 - h - ORGANIC MATERIALS - FRESH WATER
 - i - ORGANIC MATERIALS - TIDAL MARSH
- SYMBOL 3 - RESTRICTIVE / IMPERVIOUS LAYERS**
- a - NONE
 - b - BOULDERY, WITH MORE THAN 15% OF THE SURFACE COVERED WITH BOULDERS (LARGER THAN 12 INCHES IN DIAMETER)
 - c - MINERAL RESTRICTIVE LAYER(S) ARE PRESENT IN THE SOIL PROFILE LESS THAN 40 INCHES BELOW THE SOIL SURFACE SUCH AS HARD PAN, PLATY STRUCTURE, CLAYEY TEXTURE. FOR EXAMPLES OF SOIL CHARACTERISTICS THAT QUALIFY FOR RESTRICTIVE LAYER; SEE SOIL MANUAL FOR SITE EVALUATION IN NEW HAMPSHIRE, 2nd ED., PAGE 3-17, FIGURE 3-14
 - d - BEDROCK PRESENT IN THE SOIL PROFILE 0 TO 20 INCHES
 - e - BEDROCK PRESENT IN THE SOIL PROFILE 20 TO 60 INCHES
 - f - AREAS WHERE DEPTH TO BEDROCK IS SO VARIABLE THAT A SINGLE SOIL TYPE CANNOT BE APPLIED WILL BE MAPPED AS A COMPLEX OF SOIL TYPES
 - g - SUBJECT TO FLOODING
 - h - MAN-MADE IMPERVIOUS SURFACE INCLUDING PAVEMENT, CONCRETE, OR BUILT-UP SURFACES (IE BUILDINGS) WITH NO MORPHOLOGICAL RESTRICTIVE LAYER WITHIN CONTROL SECTION.
- SYMBOL 4 - ESTIMATED Ksat (MOST LIMITING LAYER EXCLUDING 3h ABOVE)**
- a - HIGH
 - b - MODERATE
 - c - LOW
 - d - NOT DETERMINED
- SYMBOL 5 - HYDROLOGIC SOIL GROUP**
- a - GROUP A
 - b - GROUP B
 - c - GROUP C
 - d - GROUP D
 - e - NOT DETERMINED



REV.	DATE	DESCRIPTION	C/O	DR	CK

SITE-SPECIFIC SOIL MAP WEST
TODDY BROOK ESTATES
 TAX MAP 41 LOTS 25, 28, & 44
 (SILVER LAKE ROAD)
 HOLLIS, NEW HAMPSHIRE
 PREPARED FOR AND LAND OF:
TODDY BROOK INVESTMENTS, LLC
 P.O. BOX 748, NASHUA, NH 03061-0748 (LOT 41-25)
 AND LAND OF:
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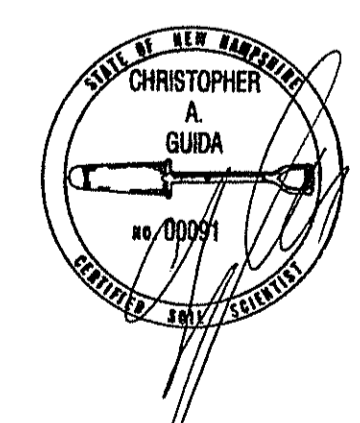
SCALE: 1" = 60' JULY 25, 2022

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CERTIFICATION:
 SOILS WERE MAPPED BY CHRISTOPHER A. GUIDA, CSS, AND KENNETH M. ROBINSON IN ACCORDANCE WITH SITE SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT PUBLISHED BY THE SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND, PUBLICATION NO. 3, AS AMENDED, VERSION 7.0 JULY 2021.
 DATE: 8/15/22
 THIS MAP IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR ALTERATION OF TERRAIN PERMITTING. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT THE PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.

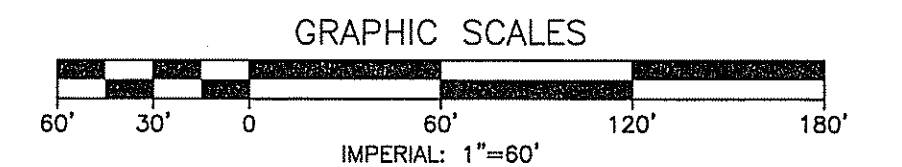


MATCHLINE - SEE SHEET SL-2

SITE SPECIFIC DISTURBED SOIL SUPPLEMENT DENOMINATOR KEY

THE SOIL TYPES ARE DEFINED BY SOIL CHARACTERISTICS AND DESIGNATED WITH A FIVE PART SYMBOL. 500A/12345

- PARENT MATERIAL
- DRAINAGE CLASS ① ② ③ ④ ⑤
- RESTRICTIVE/IMPERVIOUS LAYERS
- ESTIMATED Ksat
- HYDROLOGIC SOIL GROUP
- SYMBOL 1 - DRAINAGE CLASS**
- a - EXCESSIVELY DRAINED
 - b - SOMEWHAT EXCESSIVELY DRAINED
 - c - WELL DRAINED
 - d - MODERATELY WELL DRAINED
 - e - SOMEWHAT POORLY DRAINED
 - f - POORLY DRAINED
 - g - VERY POORLY DRAINED
 - h - NOT DETERMINED
- SYMBOL 2 - PARENT MATERIAL (NATURALLY FORMED SOIL ONLY, IF PRESENT)**
- a - NO NATURAL SOIL WITHIN 60"
 - b - GLACIOFLUVIAL DEPOSITS (OUTWASH/TERRACES OF SAND AND GRAVEL)
 - c - GLACIAL TILL MATERIAL (ACTIVE ICE)
 - d - GLACIOLACUSTRINE DEPOSITS:
 - e - VERY FINE SAND AND SILT DEPOSITS (GLACIAL LAKES)
 - f - LOAMY/SANDY OVER SILT/CLAY DEPOSITS
 - g - MARINE SILT AND CLAY DEPOSITS (OCEAN WATERS)
 - h - ALLUVIAL DEPOSITS (FLOODPLAINS)
 - i - ORGANIC MATERIALS - FRESH WATER
 - j - ORGANIC MATERIALS - TIDAL MARSH
- SYMBOL 3 - RESTRICTIVE / IMPERVIOUS LAYERS**
- a - NONE
 - b - BOULDERY, WITH MORE THAN 15% OF THE SURFACE COVERED WITH BOULDERS (LARGER THAN 12 INCHES IN DIAMETER)
 - c - MINERAL RESTRICTIVE LAYER(S) ARE PRESENT IN THE SOIL PROFILE LESS THAN 40 INCHES BELOW THE SOIL SURFACE SUCH AS HARD PAN, PLATY STRUCTURE, CLAYEY TEXTURE. FOR EXAMPLES OF SOIL CHARACTERISTICS THAT QUALIFY FOR RESTRICTIVE LAYER; SEE SOIL MANUAL FOR SITE EVALUATION IN NEW HAMPSHIRE, 2nd ED., PAGE 3-17, FIGURE 3-14
 - d - BEDROCK PRESENT IN THE SOIL PROFILE 0 TO 20 INCHES
 - e - BEDROCK PRESENT IN THE SOIL PROFILE 20 TO 60 INCHES
 - f - AREAS WHERE DEPTH TO BEDROCK IS SO VARIABLE THAT A SINGLE SOIL TYPE CANNOT BE APPLIED WILL BE MAPPED AS A COMPLEX OF SOIL TYPES
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- SYMBOL 4 - ESTIMATED Ksat (MOST LIMITING LAYER EXCLUDING 3h ABOVE)**
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 - b - MODERATE
 - c - LOW
 - d - NOT DETERMINED
- SYMBOL 5 - HYDROLOGIC SOIL GROUP**
- a - GROUP A
 - b - GROUP B
 - c - GROUP C
 - d - GROUP D
 - e - NOT DETERMINED



REV.	DATE	DESCRIPTION	C/O	DR	CK

SITE SPECIFIC SOIL MAP EAST
TODDY BROOK ESTATES
TAX MAP 41 LOTS 25, 28, & 44
(SILVER LAKE ROAD)
HOLLIS, NEW HAMPSHIRE
 PREPARED FOR AND LAND OF:
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 P.O. BOX 748, NASHUA, NH 03061-0748 (LOT 41-25)
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SCALE: 1" = 60' JULY 27, 2022

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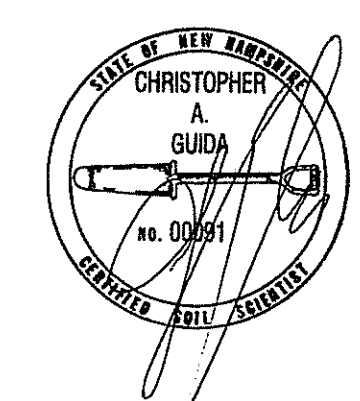
NUMBER:	SOIL MAP UNIT NAME:	DRAINAGE CLASS:	HYDROLOGIC SOIL GROUP:
12	HINCKLEY - LOAMY SAND	EXCESSIVELY DRAINED	A
197	BORCHEMISTS, PONDED	VERY POORLY DRAINED	D
212	HINCKLEY, GRAVELLY - LOAMY SAND	EXCESSIVELY DRAINED	A
299	UDORTHEMITS, SMOOTHED - DISTURBED	EXCESSIVELY DRAINED	A

SOIL SLOPE SUFFIX:

B	0-8% SLOPES
C	8-15% SLOPES
D	15-25% SLOPES
E	>25% SLOPES

LEGEND:

—	RIGHT-OF-WAY LINE	---	WETLANDS BUFFER LINE
---	BOUNDARY LINE	---	EDGE OF TREE LINE
---	ABUTTING LOT LINE	□ G.B.(F)	GRANITE BOUND FOUND
---	BUILDING SETBACK LINE	□ G.B.(S)	GRANITE BOUND PER REF.PLAN
---	EDGE OF PAVED ROAD	○ LPIPE(F)	IRON PIPE FOUND
---	EDGE OF GRAVEL ROAD	○ LPIPE(S)	IRON PIPE PER REF.PLAN
---	EDGE OF WETLANDS	○	UTILITY POLE & GUY



CERTIFICATION:
 SOILS WERE MAPPED BY CHRISTOPHER A. GUIDA, CSS, AND KENNETH M. ROBINSON IN ACCORDANCE WITH SITE SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT PUBLISHED BY THE SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND, PUBLICATION NO. 3, AS AMENDED, VERSION 7.0 JULY 2021.

DATE: 8/15/22

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CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 8 1 1
IT'S SMART, IT'S FREE, IT'S THE LAW



APPROVALS

- A. NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES; ALTERATION OF TERRAIN: PENDING
- B. NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES; SUBDIVISION: PENDING
- C. NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES; PUBLIC WATER SYSTEM: PENDING
- D. NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION; DRIVEWAY PERMIT: PENDING

PROPOSED DEVELOPMENT NOTE:
THE INTENT OF THE SITE PLANS IS TO SHOW THE INTENDED LOCATION OF THE PROPOSED HOUSING UNITS FOR OLDER PERSONS. THE DEVELOPER/BUILDER RESERVES THE RIGHT TO MAKE LIMITED CHANGES TO THE PROPOSED BUILDINGS IN REGARDS TO SIZE, TYPE, LOCATION, GARAGE CONFIGURATION, ELEVATION, DRIVEWAY AND UTILITY LOCATIONS AS LONG AS THE OVERALL INTEGRITY OF THIS PLAN IS MAINTAINED.

SEPTIC LOADING NOTE:

SITE SEPTIC LOADING CALCULATIONS IN ACCORDANCE WITH NHDES ENV-WQ 1005.03 AND TABLE 1005-1

LOT AREA:
TOTAL LOT SIZE: 36.09 ACRES
SURFACE WATER: 0.125 ACRES (EXCLUDED FROM SLOPE ANALYSIS AND SITE LOADING)
GROUP 1 SOILS: 33.694 ACRES OUTSIDE OF PROTECTIVE WELL RADIUS
GROUP 5 / POORLY DRAINED SOILS: 0.293 ACRES OUTSIDE OF PROTECTIVE WELL RADIUS (A/B SLOPES)
175-FT PROTECTIVE WELL RADIUS: 2.209 ACRES (EXCLUDED FROM SLOPE ANALYSIS AND SITE LOADING)

SLOPE ANALYSIS:
A/B SLOPE: 4.636 ACRES
C SLOPES: 7.243 ACRES
D SLOPES: 12.872 ACRES
E SLOPES: 5.288 ACRES
>E SLOPES: 3.948 ACRES (EXCLUDED FROM SITE LOADING CALCULATIONS)

LOADING CALCULATIONS:
SITE LOADING GROUP 1 SOIL, A/B SLOPE: 4.636 ACRES X 2,000 GPD/ACRE = 9,272 GPD AVAILABLE
SITE LOADING GROUP 1 SOIL, C SLOPE: 7.243 ACRES X 1,818 GPD/ACRE = 13,167 GPD AVAILABLE
SITE LOADING GROUP 1 SOIL, D SLOPE: 12.872 ACRES X 1,666 GPD/ACRE = 21,444 GPD AVAILABLE
SITE LOADING GROUP 5 SOIL, E SLOPE: 5.288 ACRES X 1,538 GPD/ACRE = 8,132 GPD AVAILABLE
SITE LOADING GROUP 5 SOIL, A/B SLOPE: 0.293 ACRES X 666 = 195 GPD AVAILABLE

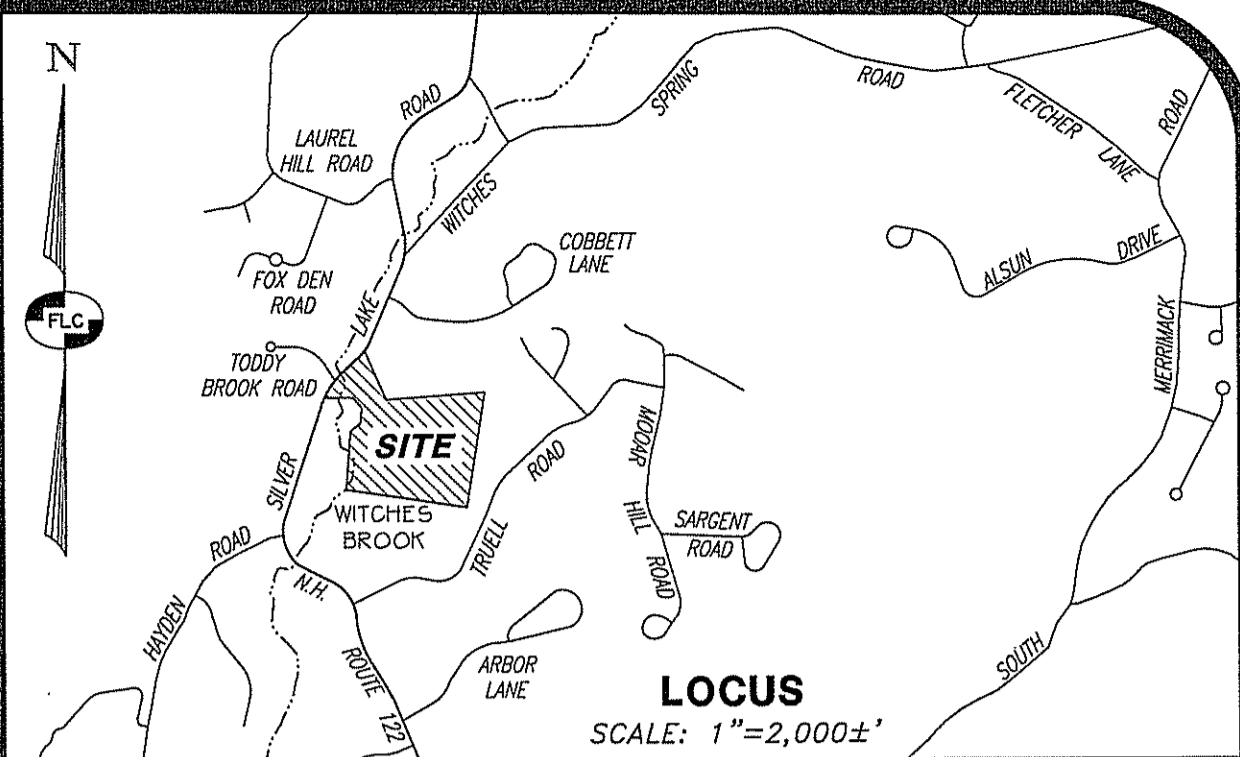
TOTAL SEPTIC SITE LOADING AVAILABLE = 52,210 GPD. PROPOSED USE IS 40 SENIOR HOUSING UNITS AT 125 GALLONS PER DAY = 5,000 GALLONS PER DAY REQUIRED.

WAIVER NOTE:

THIS PLAN SHOWS A DESIGN OPTION MAINTAINING A BUFFER TO SURROUNDING PROPERTIES AS REQUESTED BY PLANNING BOARD AND WILL REQUIRE WAIVERS FROM THE ROADWAY STANDARDS AS PREVIOUSLY REVIEWED WITH THE PLANNING BOARD.

LEGEND:

- EXISTING FEATURES**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - ABUTTING LOT LINE
 - EDGE OF WETLANDS
 - WETLAND BUFFER LINE
 - SETBACK LINE
 - EDGE OF PAVED ROAD
 - EDGE OF GRAVEL ROAD
 - STONE WALL
 - BARBED WIRE FENCE
 - DRAINAGE CULVERT
 - 10' CONTOUR INTERVAL
 - 2' CONTOUR INTERVAL
 - TREE LINE
 - GRANITE BOUND FOUND
 - IRON PIN FOUND
 - IRON PIPE FOUND
 - CATCH BASIN (SQUARE)
 - LIGHT
 - BOLLARD
 - SINGLE POST SIGN
 - DOUBLE POST SIGN
 - UTILITY POLE AND GUY WIRE
 - OVERHEAD UTILITY POLE WITH POLE NUMBER(S)
 - BUILDING
 - SLOPES >25%
 - TEST PIT
- PROPOSED FEATURES**
- EDGE OF PAVEMENT
 - 2 FT. CONTOUR
 - 10 FT. CONTOUR
 - SPOT ELEVATION
 - STORM WATER DRAINAGE
 - STORM DRAIN MANHOLE
 - LIMITS OF CLEARING
 - STOP SIGN & STREET ID SIGN
 - STREET LIGHT
 - SWALE
 - TEMPORARY SILT FENCE
 - EARTHEN BERM
 - RETAINING WALL
 - REINFORCED SWALE (RIPRAP OR FABRIC)
 - PAVED WALK
 - CONCRETE SIDEWALK (CLUBHOUSE)
 - PAVED AREA
 - LEACH FIELD AREA (EDA)
 - SURFACE WATER FLOW
 - WALK OUT BASEMENT
 - KNEE WALL BASEMENT
 - FULL BASEMENT
 - UNIT NUMBER
 - CONDOMINIUM UNIT
 - GUARDRAIL
 - STUMP DISPOSAL AREA
 - WELL



NOTES:

1. THE OWNER OF RECORD FOR TAX MAP LOT 41-25 IS TODDY BROOK INVESTMENTS, LLC - P.O. BOX 748, NASHUA, NH 03061-0748. DEED REFERENCE FOR THE LOT IS BK.9047 PG.1064 DATED JANUARY 31, 2018 IN THE H.C.R.D.
2. THE TOTAL AREA OF THIS PARCEL IS 36.085 ACRES.
3. 41-25 DENOTES TAX MAP PAGE AND PARCEL.
4. THE PURPOSE OF THIS PLAN IS TO DEPICT AN ELDERLY HOUSING DEVELOPMENT IN CONFORMANCE WITH SECTION XXI: HOUSING FOR OLDER PERSONS OF THE HOLLIS ZONING ORDINANCE WITH A DENSITY OF TWO (2), TWO-BEDROOM HOUSING UNITS PER NET TRACT ACRE. THE DENSITY CALCULATIONS FOR THE PROPOSED DEVELOPMENT ARE AS FOLLOWS:

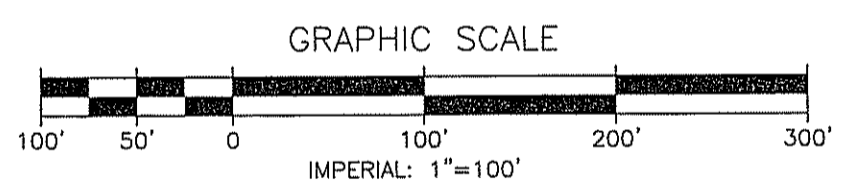
TOTAL AREA = 36.085 ACRES
MINUS WETLANDS = 0.478 ACRES
MINUS >25% SLOPES = 10.424 ACRES
NET TRACT AREA = 25.183 ACRES

DENSITY CALCULATION:
(25.183 AC. X 2 UNITS/AC.) = 50.36 UNITS ALLOWED
UNITS PROPOSED = 40 UNITS
5. THE TOTAL OPEN SPACE REQUIRED IS 40% EXCLUSIVE OF WETLAND, STEEP SLOPES, HYDRIC SOILS AND FLOOD PLAIN AREAS.

36.085 ACRES x 0.40 = 14.434 ACRES REQUIRED.

OPEN SPACE CALCULATIONS:
TOTAL OPEN SPACE AREA = 23.824 ACRES, APPROXIMATELY 66% OF THE PROPERTIES
WETLAND AREA WITHIN OPEN SPACE = 0.478 ACRES
UNALTERED STEEP SLOPE AREA WITHIN OPEN SPACE = 8.002 ACRES
23.824 AC. - 0.478 AC. - 8.002 AC. = 15.343 ACRES (NET AREA) WHICH IS 42.5% THEREBY EXCEEDING THE 40% MINIMUM REQUIREMENT.
6. MAXIMUM OF FIFTEEN PERCENT OF TRACT MAY BE COVERED BY IMPERMEABLE SURFACES.
IMPERMEABLE ALLOWED = (36.085 AC OR 1,571,862) X 0.15 = 235,779 S.F. MAXIMUM IMPERMEABLE SURFACES REQUIRED:

BUILDINGS = 86,000 S.F.
PAVEMENT = 107,000 S.F. (ROADWAY, CLUBHOUSE PARKING & SIDEWALK)
DRIVEWAYS = 18,000 S.F.
TOTAL = 211,000 S.F. / 1,571,862 S.F. = 13.50 PERCENT
7. JURISDICTIONAL WETLANDS SHOWN HEREON WERE DELINEATED BY CHRISTOPHER A. GUIDA FROM THIS OFFICE DURING THE MONTHS OF JUNE, 2017 & NOVEMBER, 2019.
8. THIS PARCEL IS TO BE SERVICED BY ON-SITE SANITARY DISPOSAL, AN ON-SITE COMMUNITY WELL AND UNDERGROUND UTILITIES (ELECTRIC, CATV, TELEPHONE, ETC.).
9. THE PROPOSED ROAD IS A PRIVATE ROAD TO BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION.
10. EACH ELDERLY HOUSING UNIT WILL HAVE ONE EXTERIOR PARKING SPACE AS DEPICTED. THE CLUB HOUSE WILL PROVIDE FOR 12 PARKING SPACES INCLUDING 2 HANDICAP ACCESSIBLE SPACES.



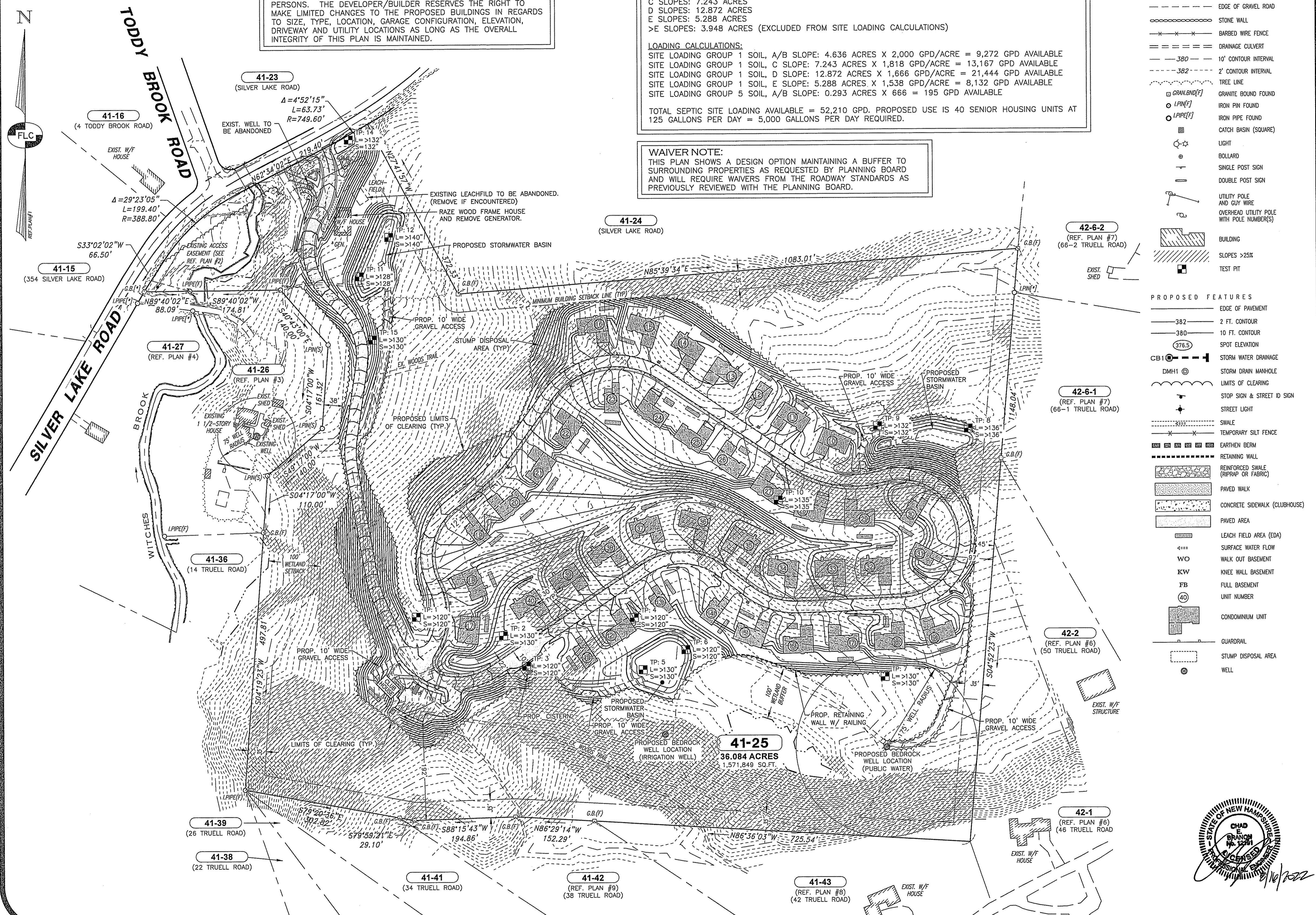
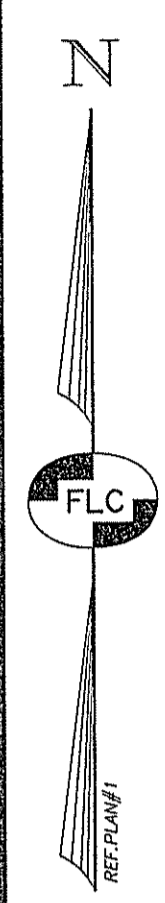
REV.	DATE	DESCRIPTION	C/O	DR	NRC	CK
A	6/27/22	PER PLANNING BOARD	-	-	DSL	NRC

OVERALL SITE & GRADING PLAN
TODDY BROOK ESTATES
TAX MAP 41 LOTS 25, 28 & 44
(SILVER LAKE ROAD)
HOLLIS, NEW HAMPSHIRE
PREPARED FOR AND LAND OF:
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P.O. BOX 748, NASHUA, NH 03061-0748 (LOT 41-25)
AND LAND OF:
RAISANEN HOMES ELITE LLC
P.O. BOX 748, NASHUA, NH 03061-0748 (LOTS 41-28 & 41-44)
SCALE: 1" = 100' OCTOBER 30, 2021

Surveying + Engineering + Land Planning + Permitting + Septic Designs

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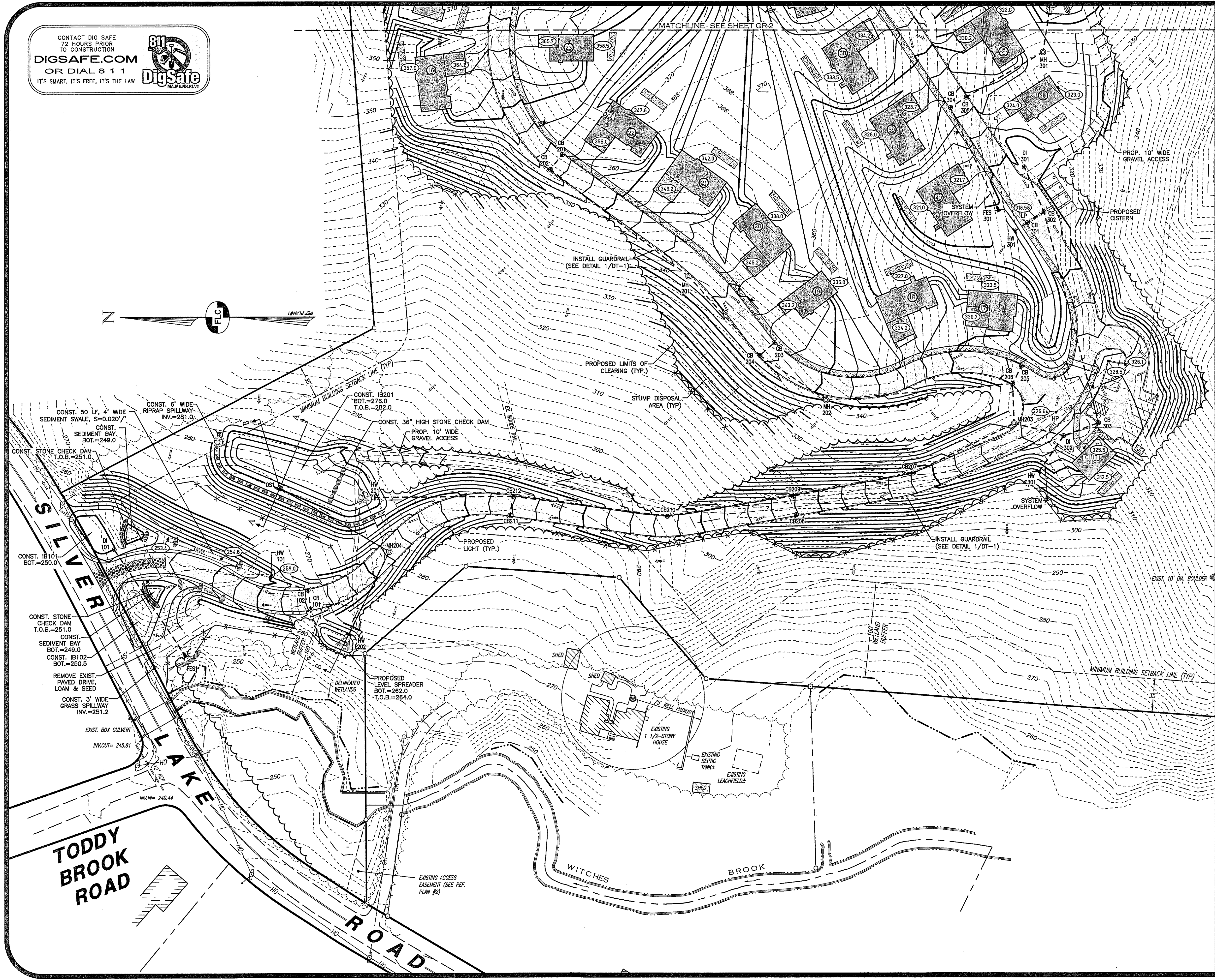
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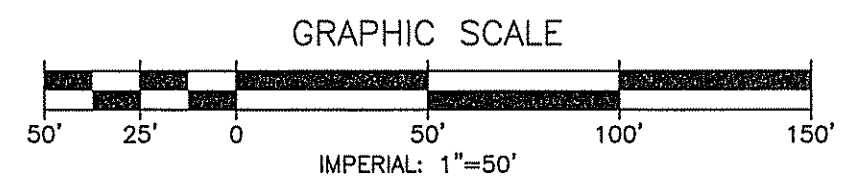


MATCHLINE - SEE SHEET GR-2



- GENERAL CONSTRUCTION NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HOLLIS AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE TOWN OF HOLLIS DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND THE MDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (811).
 5. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 6. STUMPS ARE TO BE DISPOSED OF APPROPRIATELY. IF THEY ARE TO BE DISPOSED OF ON-SITE THEY SHALL BE COMPACTED AND ALL VOIDS FILLED WITH SUITABLE MATERIAL, COVER WITH 4" OF LOAM AND SEED PER THE EROSION CONTROL NOTES.
 7. ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDDED IMMEDIATELY UPON BEING CONSTRUCTED.
 8. THE EXISTING ALTERATION OF TERRAIN (AOT540) SHALL BE AMENDED FOR THE PROPOSED IMPROVEMENTS.
 9. THE DEVELOPMENT OF THIS SITE, AS DESIGNED, WILL RESULT IN THE EXCAVATION OF APPROXIMATELY 116,800 C.Y. OF MATERIALS.

SEE SHEET GR-2 FOR LEGEND.
SEE ROADWAY PLAN AND PROFILE SHEETS FOR CLOSED DRAINAGE INFORMATION



REV.	DATE	DESCRIPTION	C/O	DR	NRC	CK
A	6/27/22	PER PLANNING BOARD	-	DSL	NRC	

GRADING PLAN WEST
TODDY BROOK ESTATES
TAX MAP 41 LOTS 25, 28 & 44
(SILVER LAKE ROAD)
HOLLIS, NEW HAMPSHIRE
PREPARED FOR AND LAND OF:
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P.O. BOX 748, NASHUA, NH 03061-0748 (LOT 41-25)
AND LAND OF:
RAISANEN HOMES ELITE LLC
P.O. BOX 748, NASHUA, NH 03061-0748 (LOTS 41-28 & 41-44)

SCALE: 1" = 50' JULY 23, 2021

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SEE SHEET GR-1 FOR GENERAL CONSTRUCTION NOTES.

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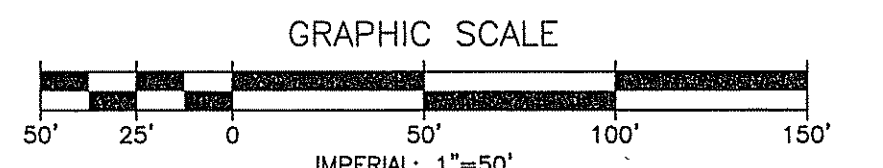
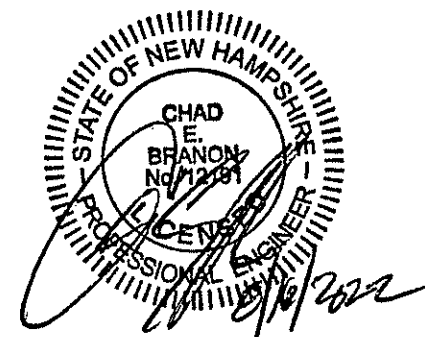
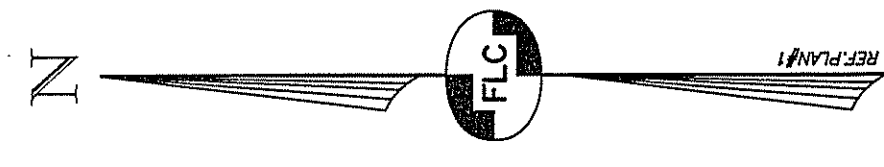
LEGEND:

EXISTING FEATURES

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- EDGE OF WETLANDS
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- BARBED WIRE FENCE
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- 10' CONTOUR INTERVAL
- 2' CONTOUR INTERVAL
- TREE LINE
- GRAVELND[F]
- LPIN[F]
- LPPE[F]
- CATCH BASIN (SQUARE)
- LIGHT
- BOLLARD
- SINGLE POST SIGN
- DOUBLE POST SIGN
- UTILITY POLE AND GUY WIRE
- OVERHEAD UTILITY POLE WITH POLE NUMBER(S)
- BUILDING

PROPOSED FEATURES

- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- UNDER DRAIN LINE
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- 10 FT. CONTOUR
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- STORM DRAIN MANHOLE
- LIMITS OF CLEARING
- STOP SIGN & STREET ID SIGN
- TRAFFIC FLOW (NOT PAINTED ARROWS)
- STREET LIGHT
- UNIT NUMBER
- CONDOMINIUM UNIT
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A	6/27/22	PER PLANNING BOARD	---	DSL	NRC
REV.	DATE	DESCRIPTION	C/O	DR	CK

GRADING PLAN EAST
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 TAX MAP 41 LOTS 25, 28 & 44
 (SILVER LAKE ROAD)
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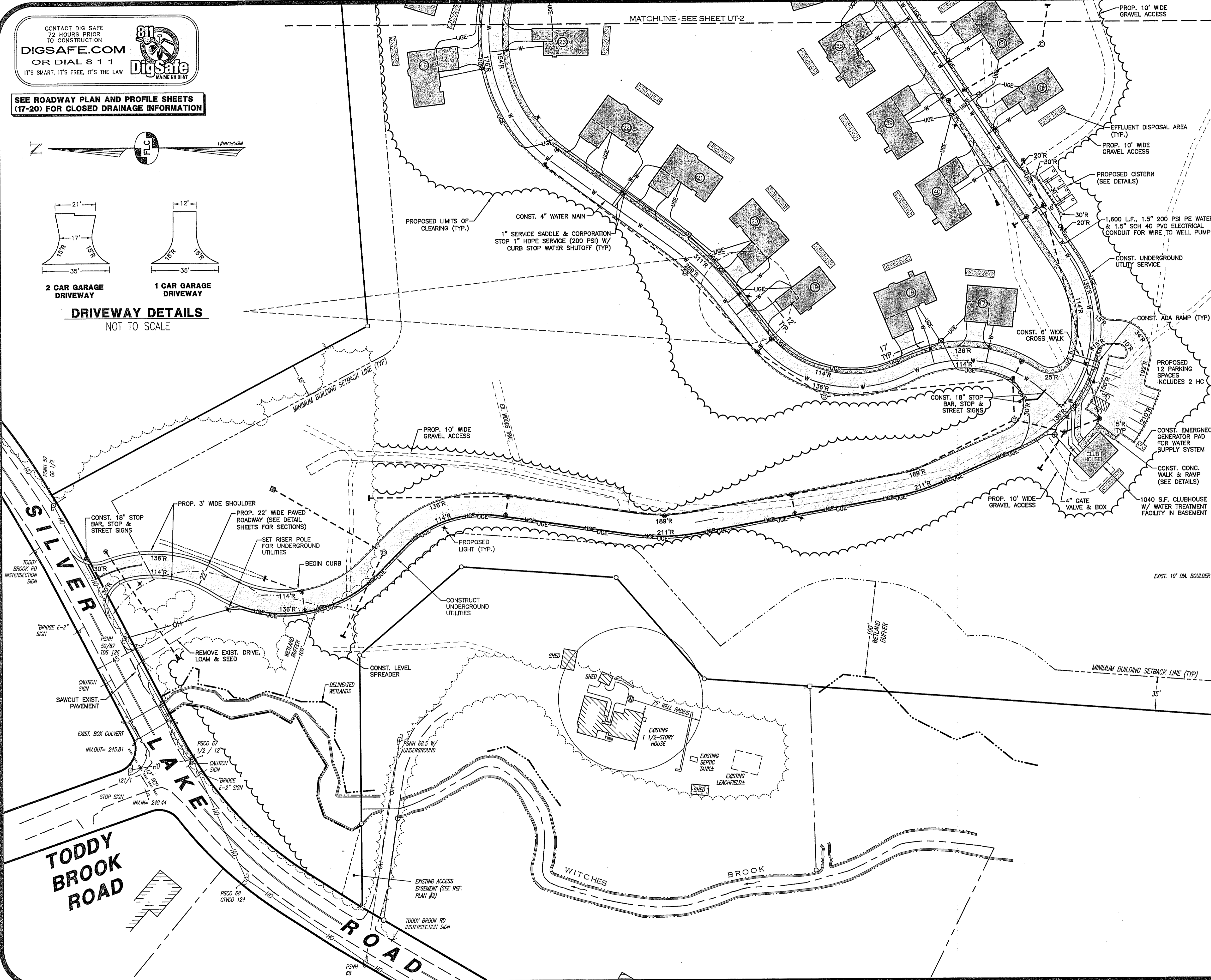
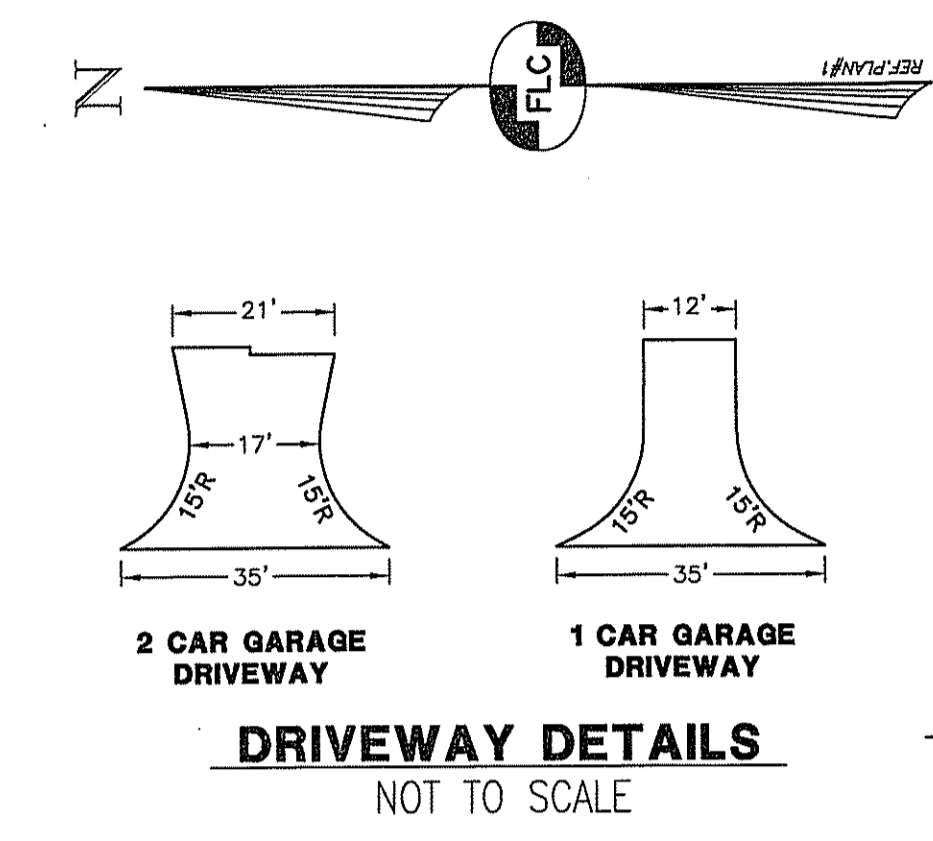
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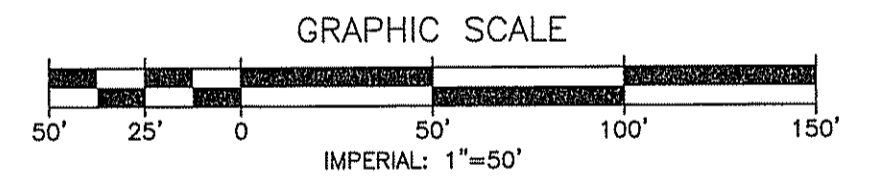
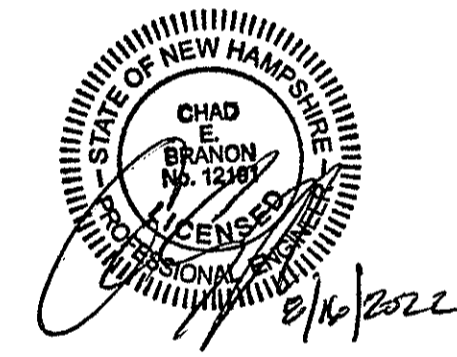
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SEE ROADWAY PLAN AND PROFILE SHEETS
(17-20) FOR CLOSED DRAINAGE INFORMATION



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SEE SHEET UT-2 FOR LEGEND.



REV.	DATE	DESCRIPTION	C/O	DR	NRC	CK
A	6/27/22	PER PLANNING BOARD	-	DSL	NRC	

SITE & UTILITY PLAN WEST
TODDY BROOK ESTATES
TAX MAP 41 LOTS 25, 28 & 44
(SILVER LAKE ROAD)
HOLLIS, NEW HAMPSHIRE
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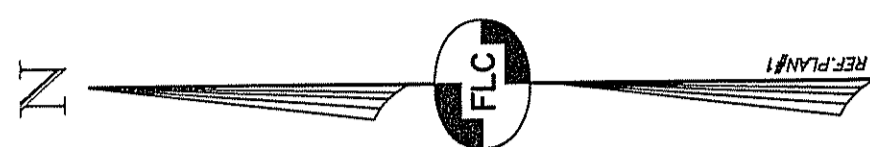
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SEE SHEET UT-1 FOR GENERAL CONSTRUCTION NOTES.

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- STONE WALL
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- 10 FT. CONTOUR
- SPOT ELEVATION
- STORM WATER DRAINAGE
- STORM DRAIN MANHOLE
- LIMITS OF CLEARING
- STOP SIGN & STREET ID SIGN
- STREET LIGHT
- EDGE OF PAVEMENT
- CAPE COD BERM (CCB)
- UNDERGROUND UTILITY LINES AND UTILITY BOXES LOCATION
- WATER LINE
- WATER GATE VALVE
- WATER SERVICE SHUT-OFF
- UNIT NUMBER
- CONDOMINIUM UNIT

GRAN. BND. FOUND

IRON PIN FOUND

IRON PIPE FOUND

CATCH BASIN (SQUARE)

LIGHT

BOLLARD

SINGLE POST SIGN

DOUBLE POST SIGN

UTILITY POLE AND GUY WIRE

OVERHEAD UTILITY POLE WITH POLE NUMBER(S)

BUILDING

SWALE

TEMPORARY SILT FENCE

RETAINING WALL

REINFORCED SWALE (RIPRAP OR FABRIC)

PAVED WALK

CONCRETE SIDEWALK (CLUBHOUSE)

PAVED AREA

LEACH FIELD AREAS (EDA)

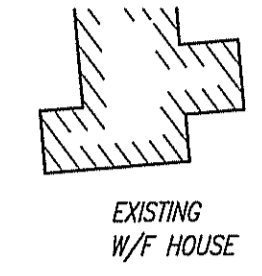
SURFACE WATER FLOW

WALK OUT BASEMENT

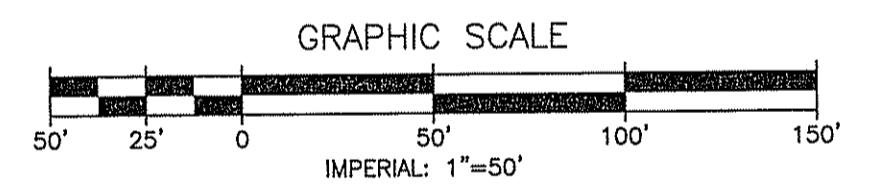
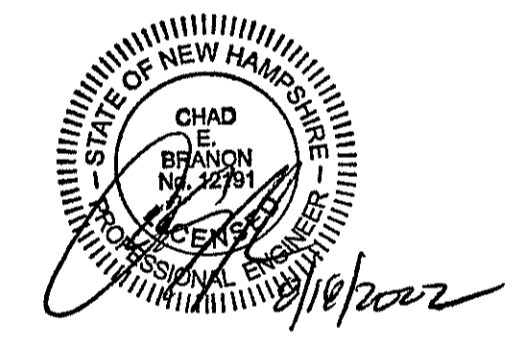
KNEE WALL BASEMENT

FULL BASEMENT

WELL



EXISTING W/F HOUSE



A	6/27/22	PER PLANNING BOARD	-	DSL	NRC
REV.	DATE	DESCRIPTION	C/O	DR	CK

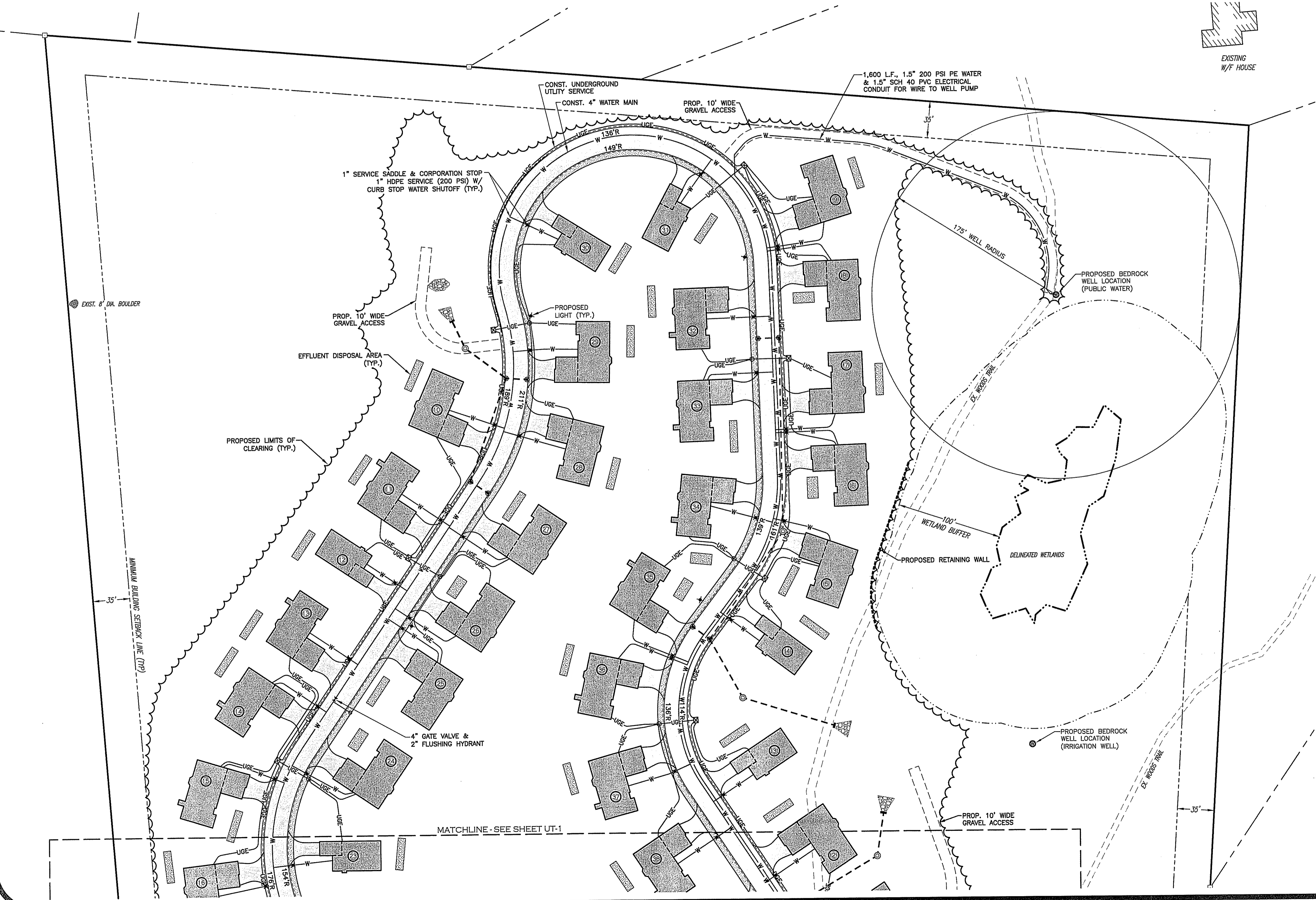
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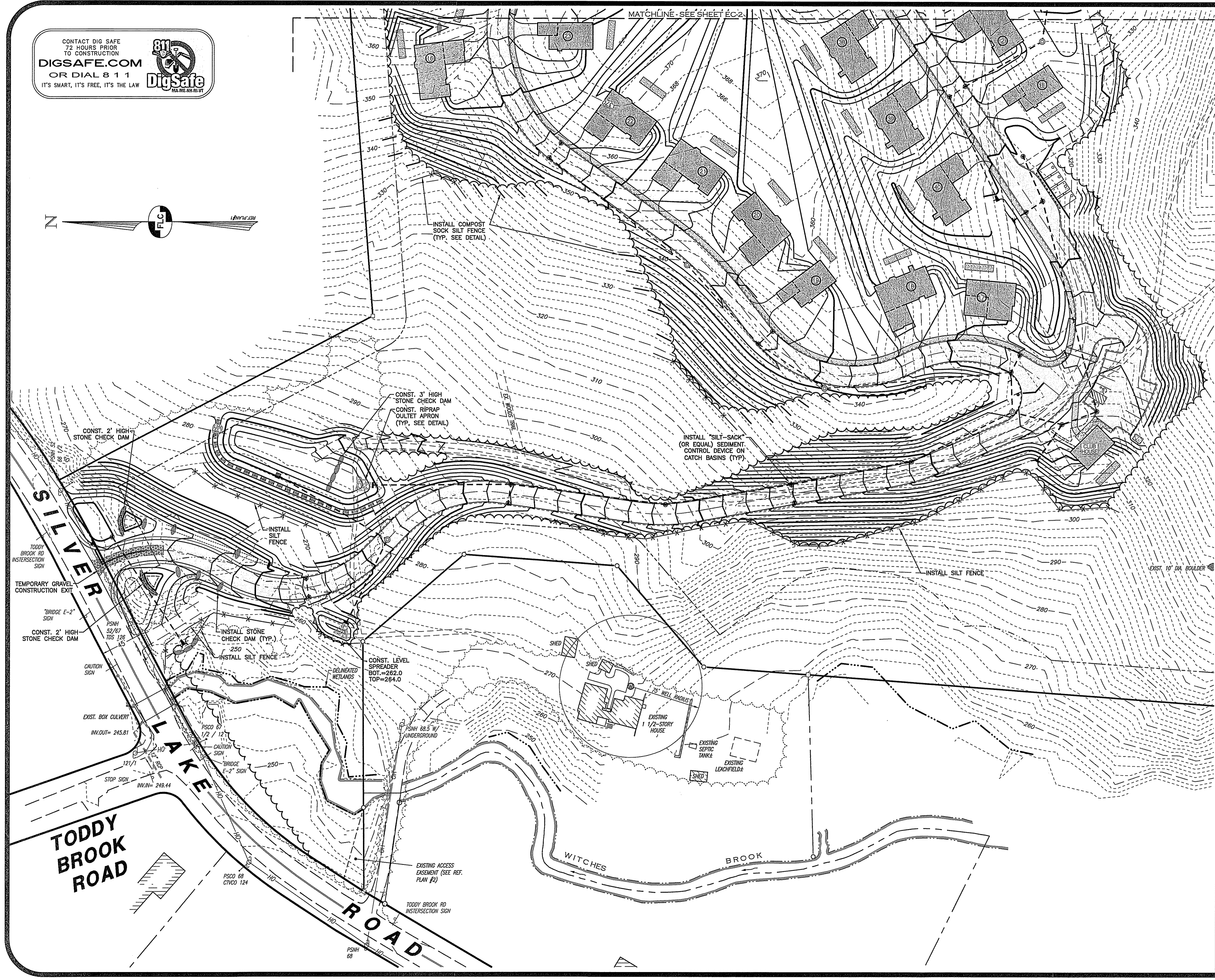
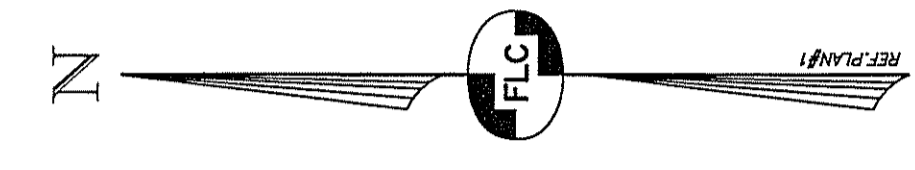
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- GENERAL NOTES:**
1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND THE STATE OF NEW HAMPSHIRE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
 2. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
 3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
 4. STORMWATER FLOWS ARE NOT TO BE DIRECTED TO THE INFILTRATION AREAS UNTIL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
 5. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
 - OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
 6. ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
 7. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
 8. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
 9. SILT FENCE SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-QUARTER THE HEIGHT OF THE SILT FENCE.
 10. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
 11. IF ANY ENDANGERED OR THREATENED SPECIES (OF PARTICULAR CONCERN ARE EASTERN HOOGMOOSE SNAKE, EASTERN BOX, SPOTTED OR BLANDINGS TURTLES) ARE SEEN WITHIN THE WORK ZONE AT ANY POINT WORK SHALL STOP. IF EASTERN BOX, SPOTTED OR BLANDINGS TURTLES ARE FOUND LAYING EGGS IN A WORK ZONE WORK SHALL STOP AND JOSH MEYER AT 603-271-1128 OF WELLSA OPERATIONS AT 603-271-1738 OF NEW HAMPSHIRE FISH AND GAME SHALL BE CONTACTED IMMEDIATELY. PHOTOS AND DESCRIPTIONS OF PROTECTED TURTLE SPECIES MAY BE FOUND AT: <http://www.wildlife.state.nh.us/nongame/turtles.html>

- CONSTRUCTION SEQUENCE:**
1. INSTALL SILT FENCE, CONSTRUCTION FENCING, AND CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.
 2. CLEAR & GRUB SITE ACCORDING TO PLAN. STUMPS ARE TO BE DISPOSED OF APPROPRIATELY. IF THEY ARE TO BE DISPOSED OF ON-SITE THEY WILL BE COMPACTED AND ALL VOIDS FILLED WITH SUITABLE MATERIAL. COVER WITH 4" OF LOAM AND SEED PER THE EROSION CONTROL NOTES.
 3. PERFORM SITE GRADING OF ROADWAY AND BUILDING AREAS.
 4. BEGIN ROADWAY CONSTRUCTION. INSTALL SITE UTILITIES IN ACCORDANCE WITH THE PLAN.
 5. INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE 'SILTSACK DETAIL'. THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
 6. LOAM AND SEED ALL DISTURBED AREAS. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER COMPLETION.
 7. NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF 45 TO 60 DAYS. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED PRIOR TO WINTER CONDITIONS.
 8. ALL PERMANENT STORMWATER MANAGEMENT MEASURES SHALL HAVE A HEALTHY STAND OF VEGETATION ESTABLISHED PRIOR TO DIRECTING RUNOFF INTO THEM.
 9. FINAL PAVING OF ROADWAY, PARKING AREAS, SIDEWALK AND DRIVEWAY APRONS.
 10. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
 11. SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF DISTURBED AREAS.
 12. REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED WHEN SITE HAS BEEN STABILIZED.

SEE SHEET EC-2 FOR LEGEND.

GRAPHIC SCALE
50' 25' 0 50' 100' 150'
IMPERIAL: 1"=50'

REV.	DATE	DESCRIPTION	C/O	DR	NRC	CK
A	6/27/22	PER PLANNING BOARD	-	DSL	NRC	

EROSION CONTROL PLAN WEST
TODDY BROOK ESTATES
 TAX MAP 41 LOTS 25, 28 & 44
 (SILVER LAKE ROAD)
 HOLLIS, NEW HAMPSHIRE
 PREPARED FOR AND LAND OF:
TODDY BROOK INVESTMENTS, LLC
 P.O. BOX 748, NASHUA, NH 03061-0748 (LOT 41-25)
 AND LAND OF:
RAISANEN HOMES ELITE LLC
 P.O. BOX 748, NASHUA, NH 03061-0748 (LOTS 41-28 & 41-44)

SCALE: 1" = 50' JULY 23, 2021

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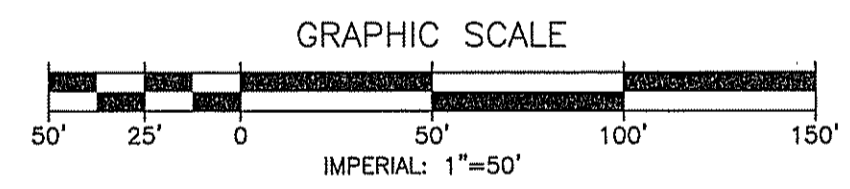
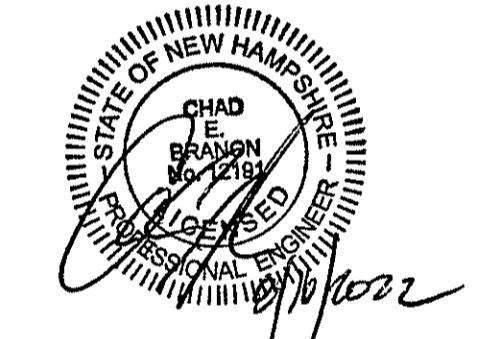
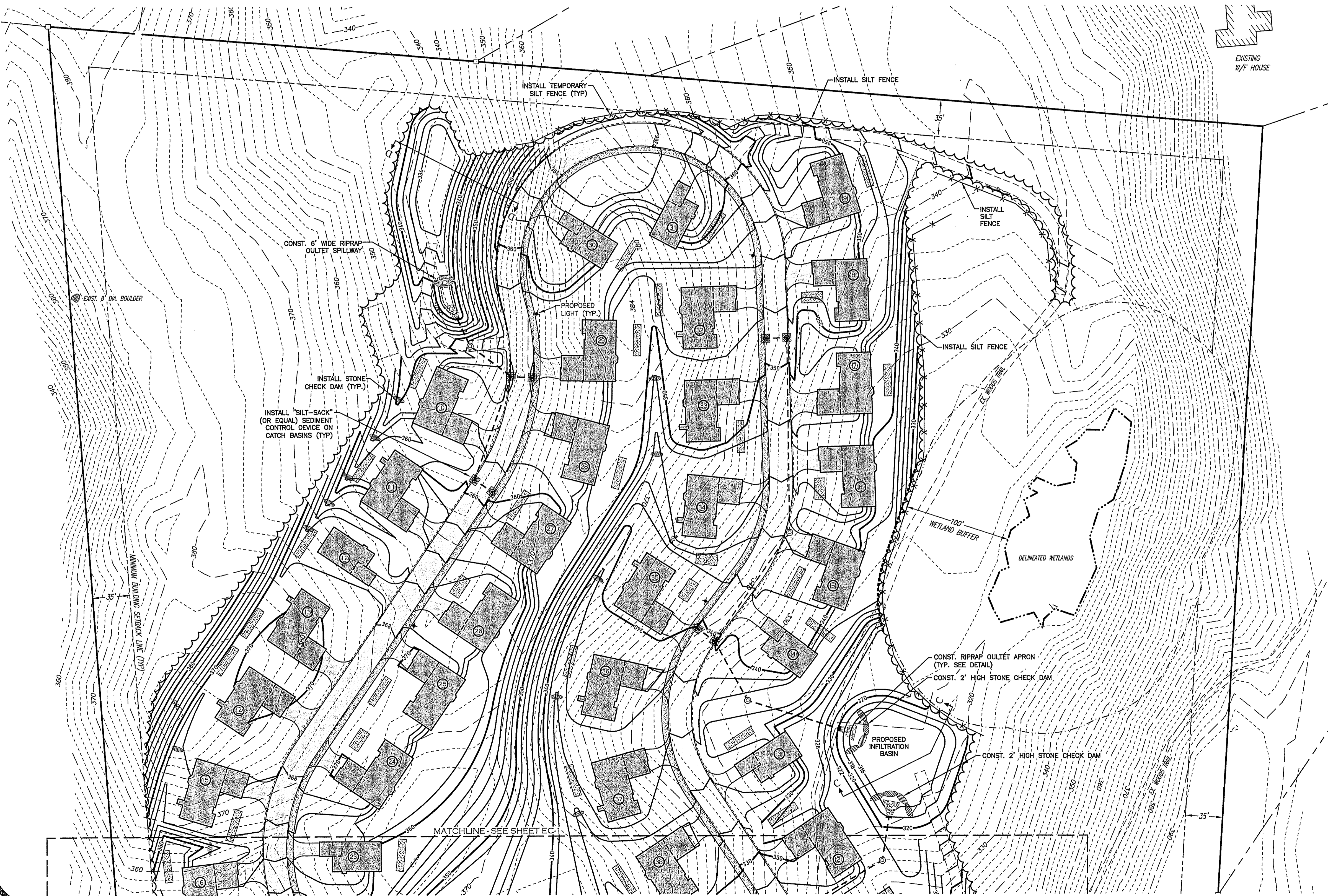
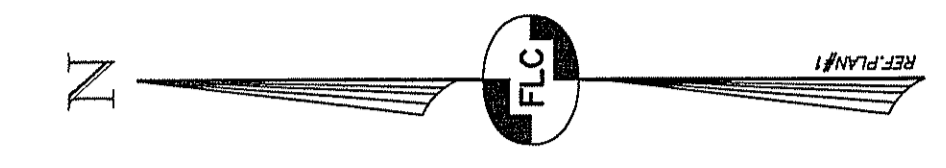
SEE SHEET EC-1 FOR GENERAL NOTES AND CONSTRUCTION SEQUENCE.

SEE ROADWAY PLAN AND PROFILE SHEETS FOR CLOSED DRAINAGE INFORMATION

LEGEND:

EXISTING FEATURES	
—	RIGHT-OF-WAY LINE
---	BOUNDARY LINE
-.-.-	ABUTTING LOT LINE
----	EDGE OF WETLANDS
----	WETLAND BUFFER LINE
----	SETBACK LINE
----	EDGE OF PAVED ROAD
----	EDGE OF GRAVEL ROAD
----	STONE WALL
----	BARBED WIRE FENCE
----	DRAINAGE CULVERT
----	10' CONTOUR INTERVAL
----	2' CONTOUR INTERVAL
----	TREE LINE
○	GRANITE FOUND
○	IRON PIN FOUND
○	IRON PIPE FOUND
■	CATCH BASIN (SQUARE)
☆	LIGHT
●	BOLLARD
+	SINGLE POST SIGN
+	DOUBLE POST SIGN
+	UTILITY POLE AND GUY WIRE
+	OVERHEAD UTILITY POLE WITH POLE NUMBER(S)
▭	BUILDING

PROPOSED FEATURES	
---	EDGE OF PAVEMENT
---	EDGE OF GRAVEL
UD	UNDER DRAIN LINE
----	2 FT. CONTOUR
----	10 FT. CONTOUR
○	SPOT ELEVATION
CB1	STORM WATER DRAINAGE
DMH1	STORM DRAIN MANHOLE
---	LIMITS OF CLEARING
+	STOP SIGN & STREET ID SIGN
+	STREET LIGHT
+	STUMP DISPOSAL AREA
+	STONE CHECK DAM
+	SILT SACK
---	SWALE
---	TEMPORARY SILT FENCE
---	EARTHEN BERM
---	RETAINING WALL
---	REINFORCED SWALE (RIPRAP OR FABRIC)
---	PAVED WALK
---	CONCRETE SIDEWALK (CLUBHOUSE)
---	PAVED AREA
---	LEACH FIELD AREAS (EDA)
---	SURFACE WATER FLOW
---	W/O WALK OUT BASEMENT
---	K/W KNEE WALL BASEMENT
---	F/B FULL BASEMENT



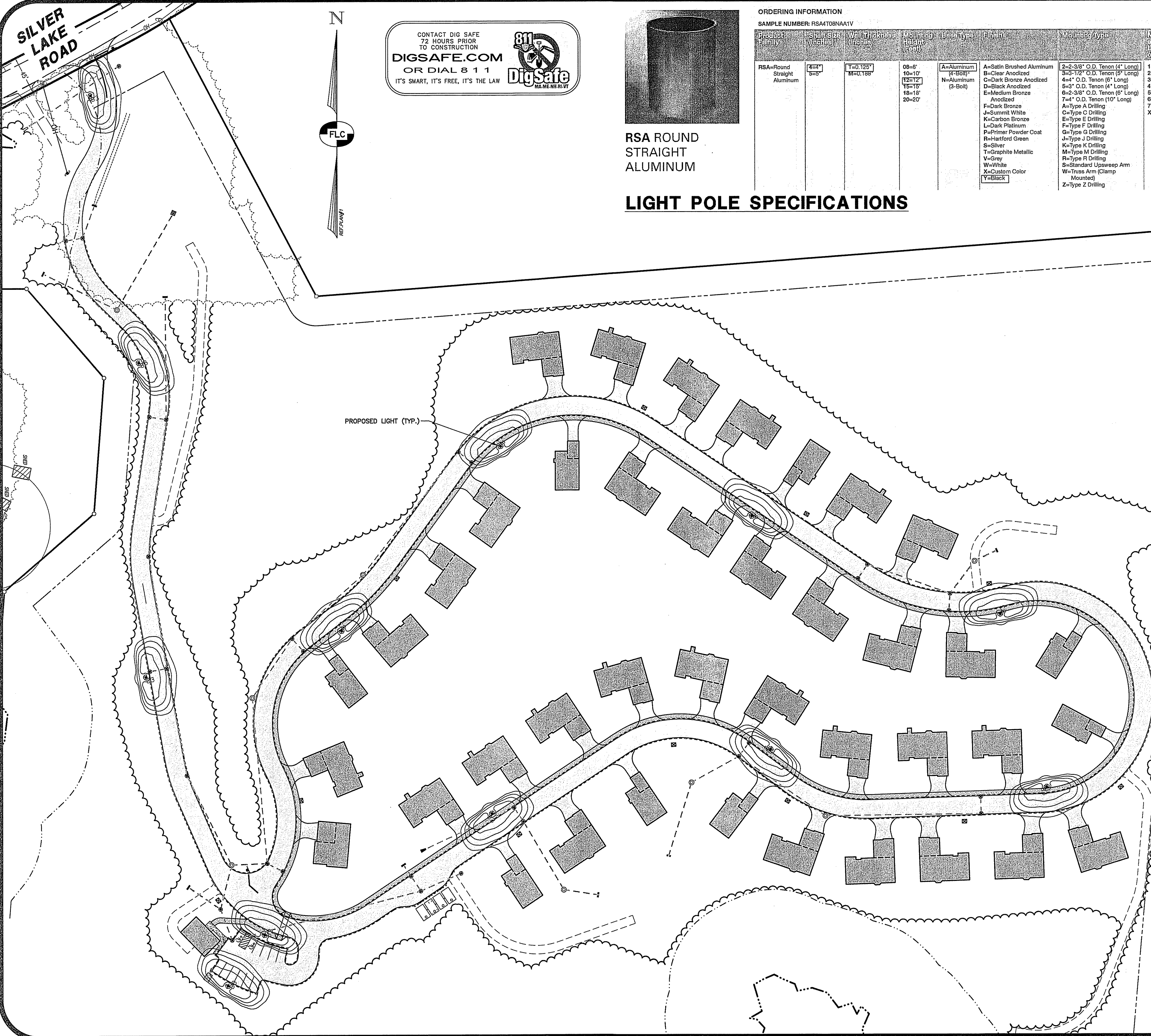
A	6/27/22	PER PLANNING BOARD	-	DSL	NRC
REV.	DATE	DESCRIPTION	C/O	DR	CK

EROSION CONTROL PLAN EAST
TODDY BROOK ESTATES
 TAX MAP 41 LOTS 25, 28 & 44
 (SILVER LAKE ROAD)
 HOLLIS, NEW HAMPSHIRE
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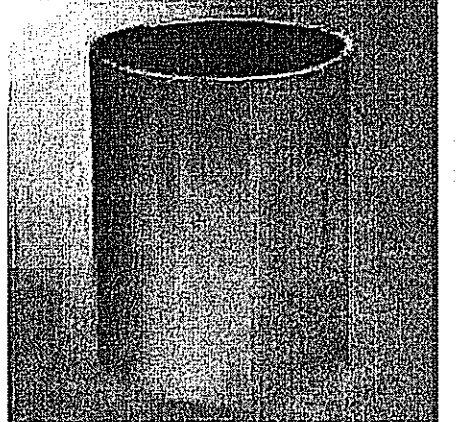
SCALE: 1" = 50' JULY 23, 2021

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**RSA ROUND
STRAIGHT
ALUMINUM**

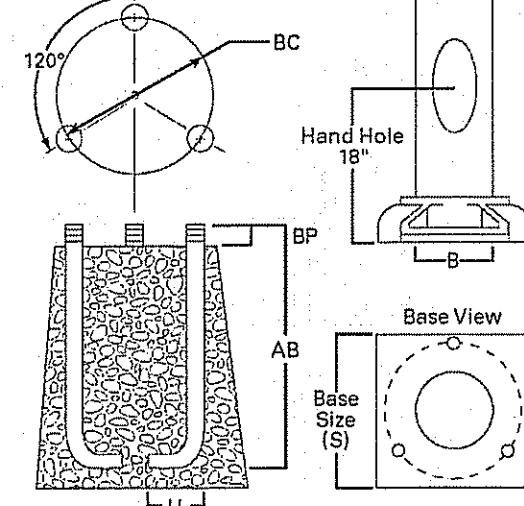
LIGHT POLE SPECIFICATIONS

ORDERING INFORMATION

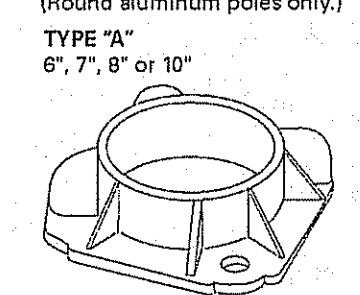
SAMPLE NUMBER: RSA108NA1V

Product Family	Shaft Size (Inches)	Wall Thickness (Inches)	Mounting Height (Feet)	Base Type	Finish	Mounting Type	Number of Light Fixtures	Options (Add'l Cost)
RSA=Round Straight Aluminum	4=4" 5=5"	T=0.125" M=0.188"	08=8' 10=10' 12=12' 15=15' 18=18' 20=20'	A=Aluminum (4-Bolt) N=Aluminum (3-Bolt)	A=Satn Brushed Aluminum B=Clear Anodized C=Dark Bronze Anodized D=Black Anodized E=Medium Bronze Anodized F=Dark Bronze J=Summit White K=Carbon Bronze L=Dark Platinum P=Primer Powder Coat R=Hartford Green S=Silver T=Graphite Metallic V=Grey W=White X=Custom Color Y=Black	2=2-3/8" O.D. Tenon (4" Long) 3=3-1/2" O.D. Tenon (5" Long) 4=4" O.D. Tenon (6" Long) 5=5" O.D. Tenon (6" Long) 6=2-3/8" O.D. Tenon (6" Long) 7=4" O.D. Tenon (10" Long) A=Type A Drilling C=Type C Drilling E=Type E Drilling F=Type F Drilling G=Type G Drilling J=Type J Drilling K=Type K Drilling M=Type M Drilling R=Type R Drilling S=Standard Upsweep Arm W=Truss Arm (Clamp Mounted) Z=Type Z Drilling	1=Single 2=2 at 180° 3=Triple 4=4 at 90° 5=2 at 90° 6=3 at 90° 7=2 at 120° X=None	A=1/2" Tapped Hub (Specify location desired) B=3/4" Tapped Hub (Specify location desired) C=Convenience Outlet* E=FCI Convenience Outlet* F=Vibration Pad G=Ground Lug H=Additional Hand Hole* L=Drilled for Bumper Glitter V=Vibration Damper

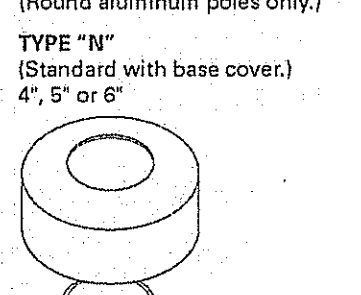
DIMENSIONS



STANDARD BASE (Round aluminum poles only)



STANDARD BASE (Round aluminum poles only)



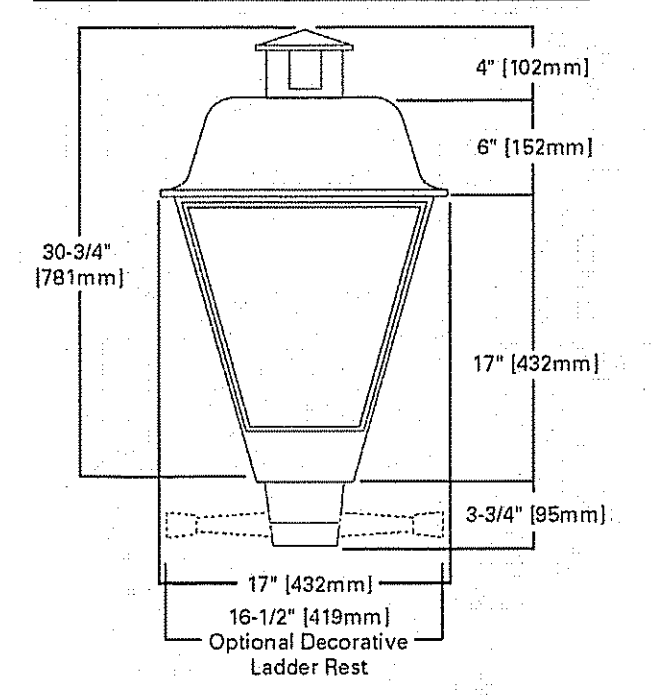
**UTLD
TRADITIONAIRE
LED DOWNLIGHT**

1 - 3 LightBARs
Solid State LED

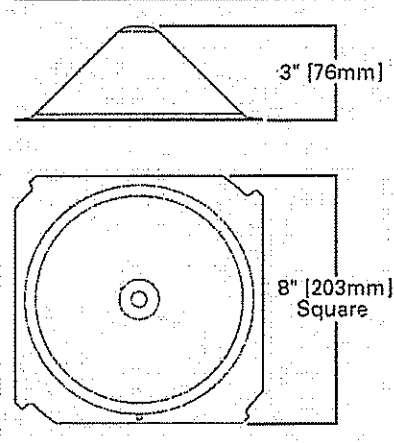
DECORATIVE POST TOP
LUMINAIRE

Streetworks

DIMENSIONS



OPTIONAL BIRD CONE

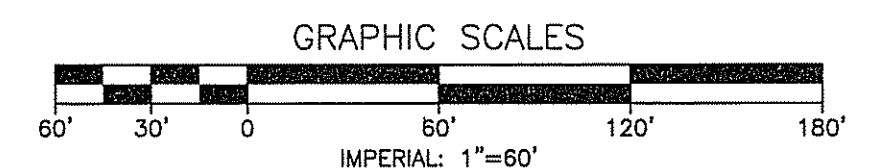


ORDERING INFORMATION

Sample Number: UTLD-F03-LED-D-U-T3-4N7

Product Family	Number of LightBARs 1-2	Source Type	Driver	Voltage	Distribution
UTLD=Traditionaire™ LED Downlight	E01=(1) 21 LED LightBAR E02=(2) 21 LED LightBARs E03=(3) 21 LED LightBARs F01=(1) 7 LED LightBARs F02=(2) 7 LED LightBARs F03=(3) 7 LED LightBARs	LED=Solid State Light Emitting Diodes	E=Non-Dimming D=Dimming *	U=Universal (120-277V) 3=300V 9=347V	T2=Type II T3=Type III SL2=Type II w/Spill Control SL3=Type III w/Spill Control SMQ=Type V Square Medium SWQ=Type V Square Wide

LIGHT FIXTURE SPECIFICATIONS (OR EQUAL)



REV.	DATE	DESCRIPTION	C/O	DR	CK

LIGHTING PLAN
TODDY BROOK ESTATES
TAX MAP 41 LOTS 25, 28 & 44
(SILVER LAKE ROAD)
HOLLIS, NEW HAMPSHIRE
PREPARED FOR AND LAND OF:
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P.O. BOX 748, NASHUA, NH 03061-0748 (LOT 41-25)
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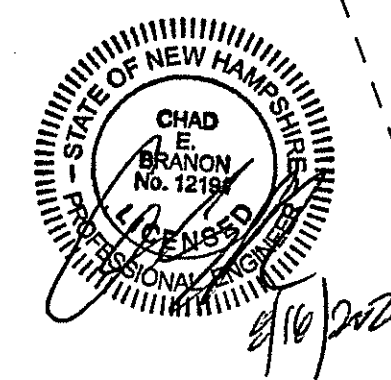
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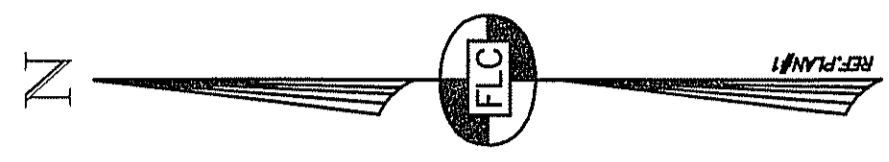
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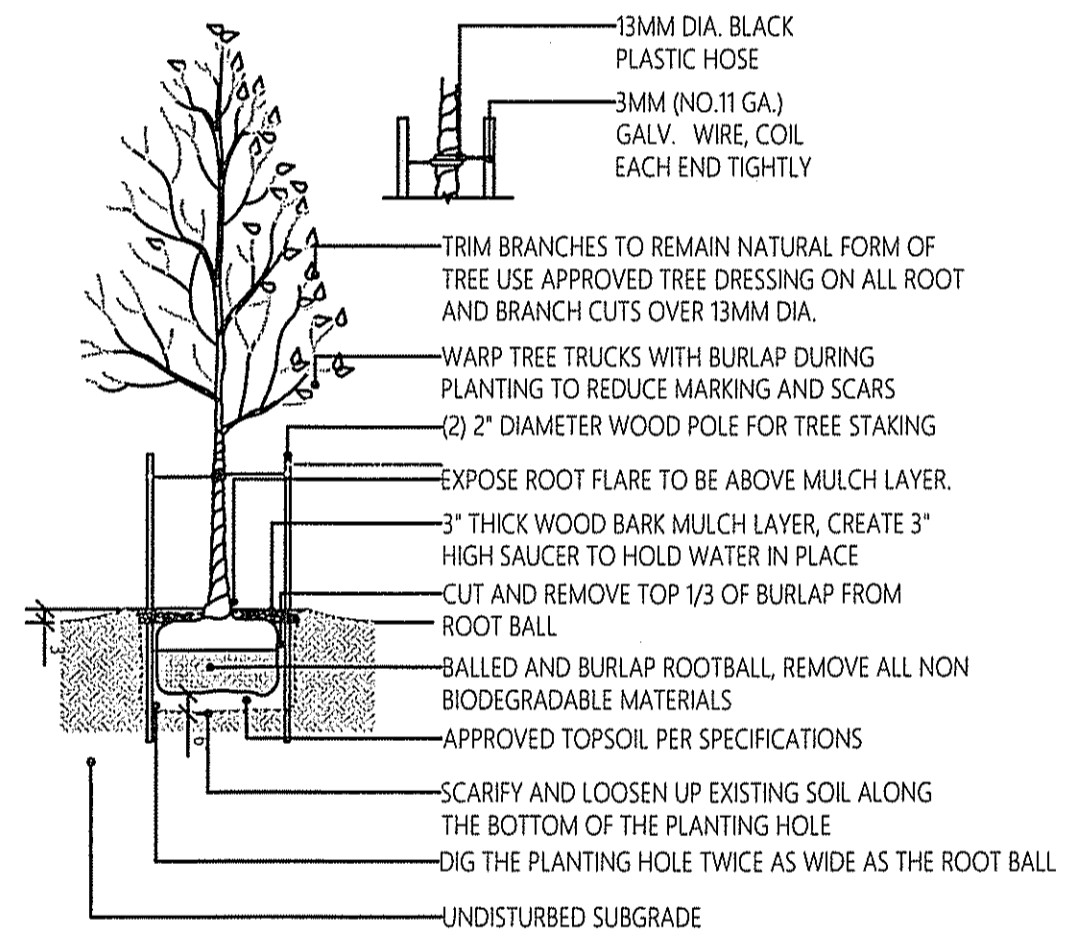
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PLANT SCHEDULE

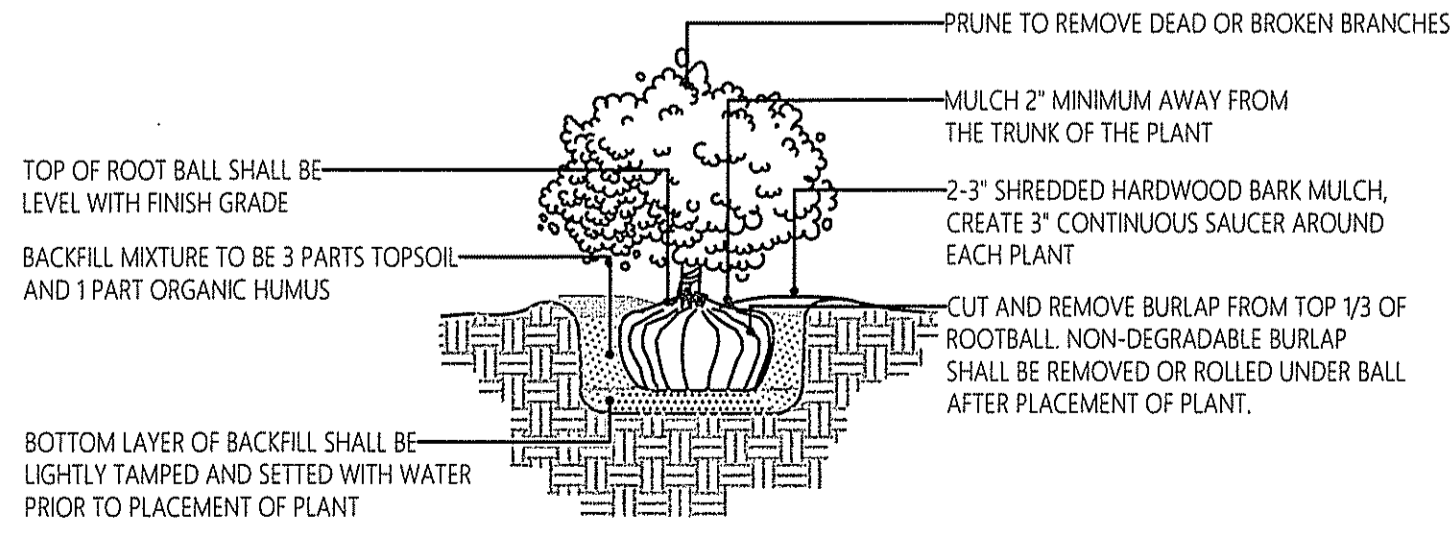
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
STREET TREES					
AR	11	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	2-2.5 CAL.	
EVERGREEN TREES					
PG	8	PICEA PLUNGENS 'GLAUCA'	COLORADO BLUE SPRUCE	5-6 HT.	
PSF	13	PINUS STROBUS 'FASTIGATE'	FASTIGATE WHITE PINE	5-6 HT.	
ORNAMENTAL TREES					
BN	6	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	7-8' HT, MULTI	
MS	9	MALLUS 'ROYAL RANDRIPS'	FLOWERING CRABAPPLE	1.5-2' CAL.	
SHRUBS					
CA	5	CLETHRRA ALNIFOLIA 'SIXTEEN CANDLES'	SUMMERSWEET	#3 CONT.	
MBM	3	ILEX X MESERVEAE 'BLUE MAID'	BLUE MAID HOLLY	#5 CONT.	
MBP	1	ILEX X MESERVEAE 'BLUE PRINCE'	BLUE PRINCE HOLLY	#5 CONT.	
IVRS	13	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	#3 CONT.	
MP	5	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	#3 CONT.	
RPJM	9	RHODODENDRON X 'P.J.M.'	P.J.M. RHODODENDRON	#3 CONT.	



- PLANTING NOTES:**
1. TOPSOIL MIX, PER THE PLANTING SPECIFICATIONS
 2. THE LANDSCAPE CONTRACTOR SHALL NOT DAMAGE THE MAIN ROOTS OR ROOT BALL WHEN INSTALLING TREE STAKES
 3. WATER THOROUGHLY AFTER INSTALLATION
 4. REMOVE TREE RINGS AND STAKES TWO YEARS AFTER INSTALLATION

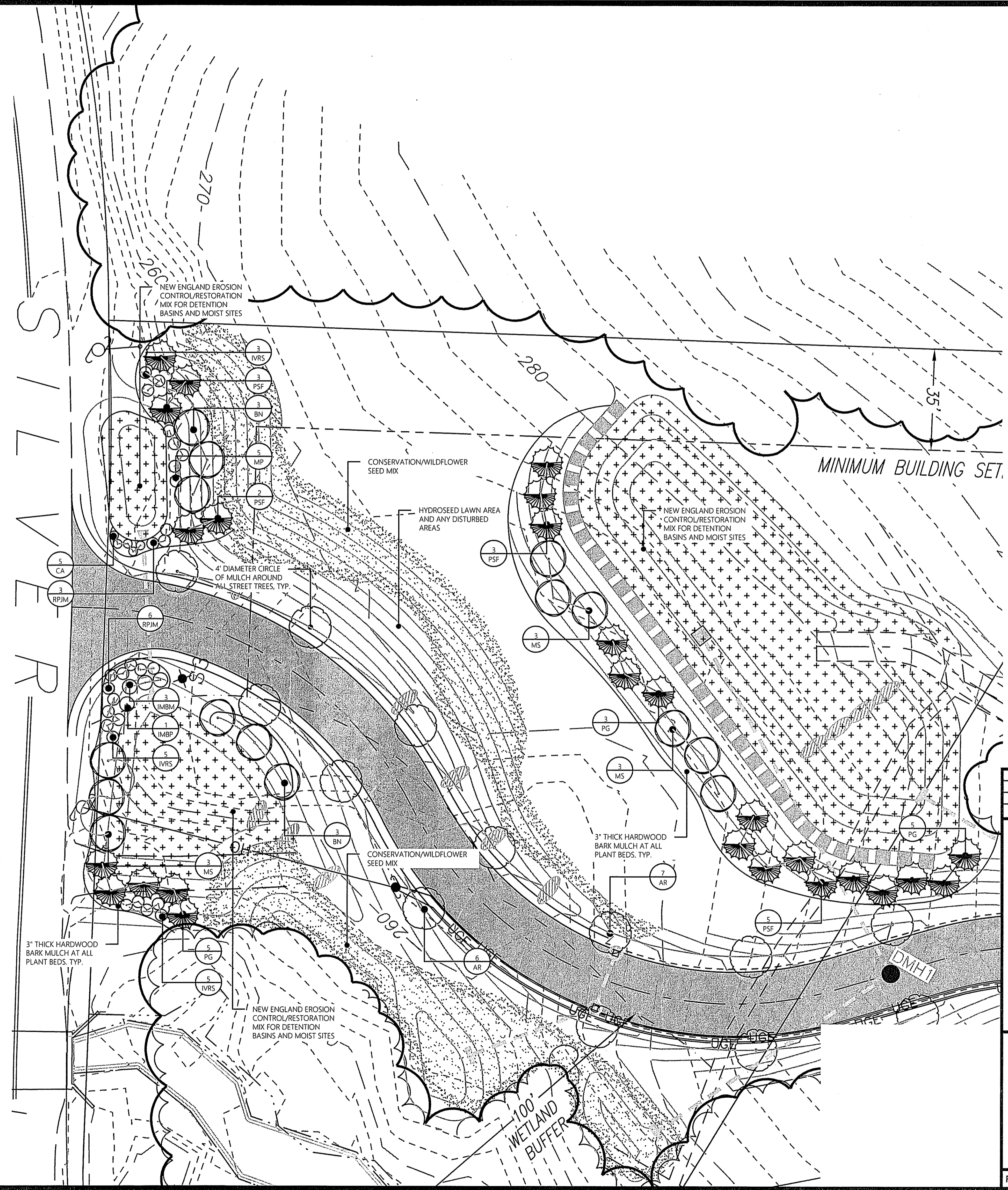
DECIDUOUS TREE PLANTING

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SHRUB PLANTING

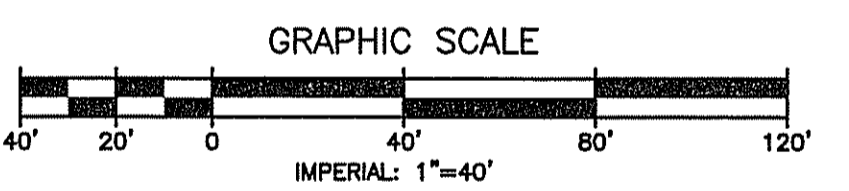
SCALE= 3/16"=1'-0"



PLANTING PLAN NOTES

1. THE EXISTING CONDITIONS BACKGROUND WAS AN ELECTRONIC CAD FILE AS SUPPLIED BY FIELDSTONE LAND CONSULTANTS, INC. AND DATED 7/20/2022.
2. ALL OF THE PROPOSED PLANT MATERIAL SHALL BE INSTALLED AS SHOWN ON THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
3. IT IS THE LANDSCAPE CONTRACTOR RESPONSIBILITY TO COORDINATE ALL ELEMENTS WITH THE GENERAL CONTRACTOR AND IF NECESSARY OTHER SUB CONTRACTORS AS REQUIRED TO SUCCESSFULLY PLANT ALL OF THE PROPOSED MATERIAL.
4. IT IS THE LANDSCAPE CONTRACTOR RESPONSIBILITY TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO STARTING WORK. ANY CONFLICTS THAT ARISE DURING THIS TIME SHALL BE BROUGHT TO THE DESIGN TEAMS ATTENTION IMMEDIATELY.
5. THE PLANT MATERIAL INSTALLATION SHALL HAPPEN BEFORE THE ROUGH GRADING HAS BEEN APPROVED BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
6. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMAN. ALL TREES AND SHRUBS OF THE SAME SPECIES AND SIZE SHALL HAVE MATCHING HEIGHT AND FORM UNLESS OTHERWISE NOTED ON THE PLANS AND BE APPROVED BY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
7. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN IN THE CONTRACT DOCUMENTS. DISCREPANCIES IN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY SO I AM ABLE TO RESOLVE THE ISSUE IN A TIMELY MANNER.

Jay Miller
LANDSCAPE ARCHITECTURE
 2095 VT. RT. 18
 WATERFORD, VT 05819
 p:802.535.8586
 e:JAY@JILLERLANDSCAPE.COM



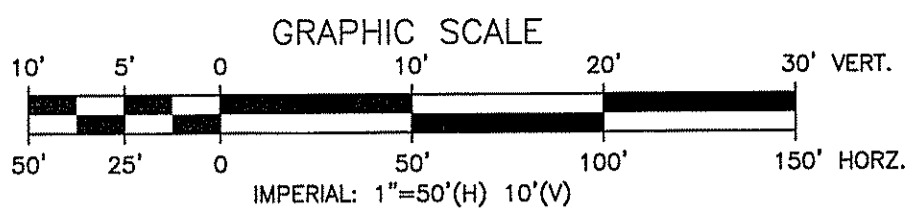
REV.	DATE	DESCRIPTION	C/O	DR	CK

LANDSCAPING PLAN WEST
 TAX MAP 41 LOTS 25, 28 & 44
 (SILVER LAKE ROAD)
 HOLLIS, NEW HAMPSHIRE
 PREPARED FOR AND LAND OF:
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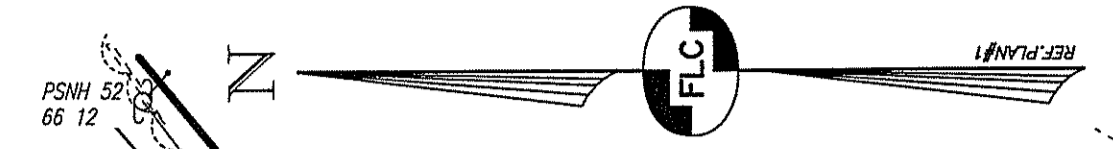
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SEE SHEET PP-4 FOR ROADWAY CENTERLINE REPORT.



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 OR DIAL 811
 CALL 811 - KNOW WHAT'S BELOW

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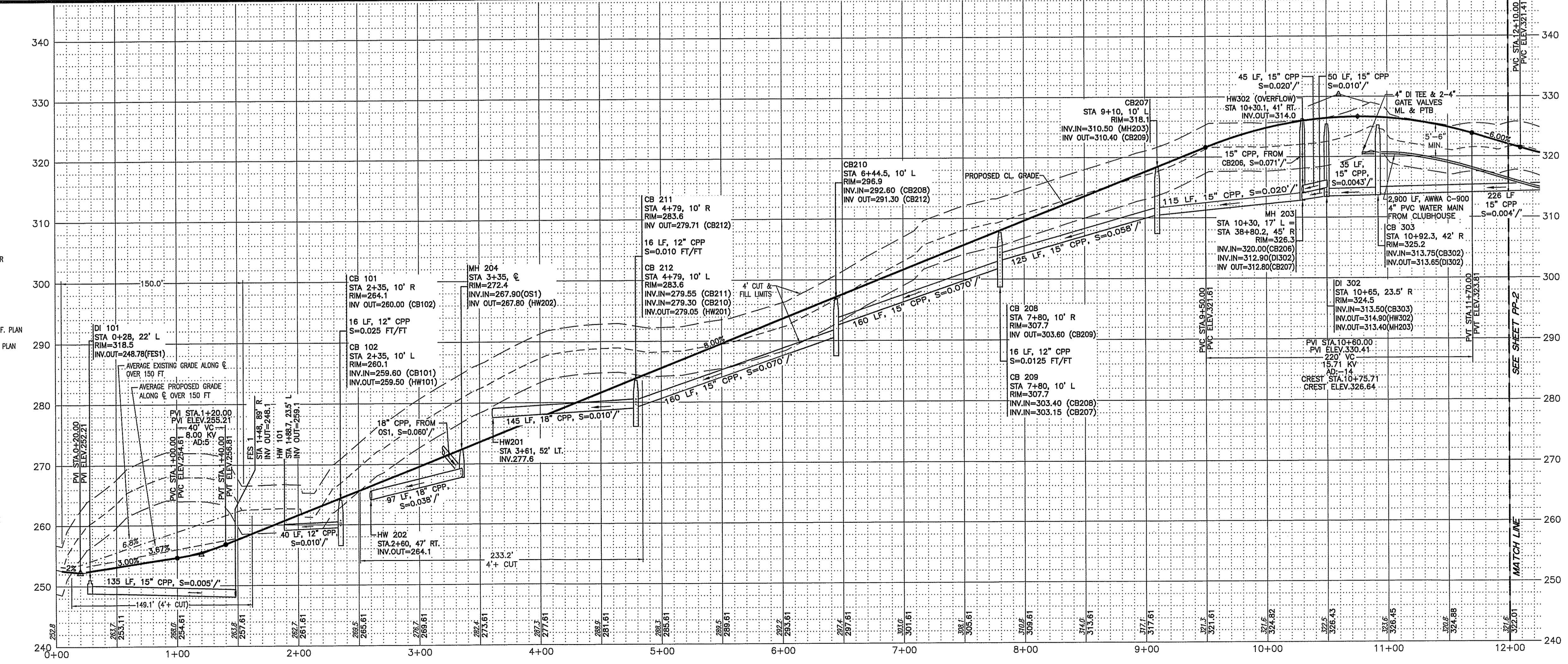
LEGEND:

EXISTING FEATURES

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVED ROAD
- EDGE OF GRAVEL ROAD
- STONE WALL
- EDGE OF TREE LINE
- EDGE OF WETLANDS
- 10' CONTOUR INTERVAL
- 2' CONTOUR INTERVAL
- CULVERT
- OVERHEAD UTILITY LINE
- TAX MAP & LOT NUMBER

PROPOSED FEATURES

- EDGE OF PAVEMENT
- CAPE COD BERM
- 2 FT. CONTOUR
- 10 FT. CONTOUR
- SURFACE WATER FLOW
- STORM WATER DRAINAGE
- SILT SACK
- STONE CHECK DAM
- LIMIT OF CLEARING
- PAVED AREA



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REV.	DATE	DESCRIPTION

RAISAMEN HOMES ELITE, LLC
 P.O. BOX 748
 NASHUA, NH 03061-0748

TODDY BROOK ESTATES
 TODDY BROOK INVESTMENTS, LLC

TAX MAP 41, LOTS 25, 28, 44
 HOLLIS, NEW HAMPSHIRE

PLANS ISSUED FOR
 MUNICIPAL REVIEW

SCALE: 1" = 50' HORZ. / 10' VERT.

JULY 27, 2021

FILE: 1591SP00A.dwg

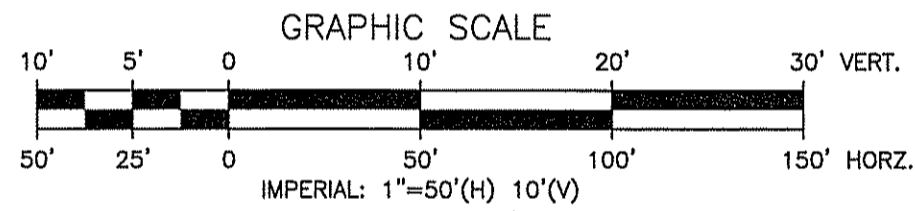
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PROJECT NO. 1591.00
 PAGE NO. 19 OF 29

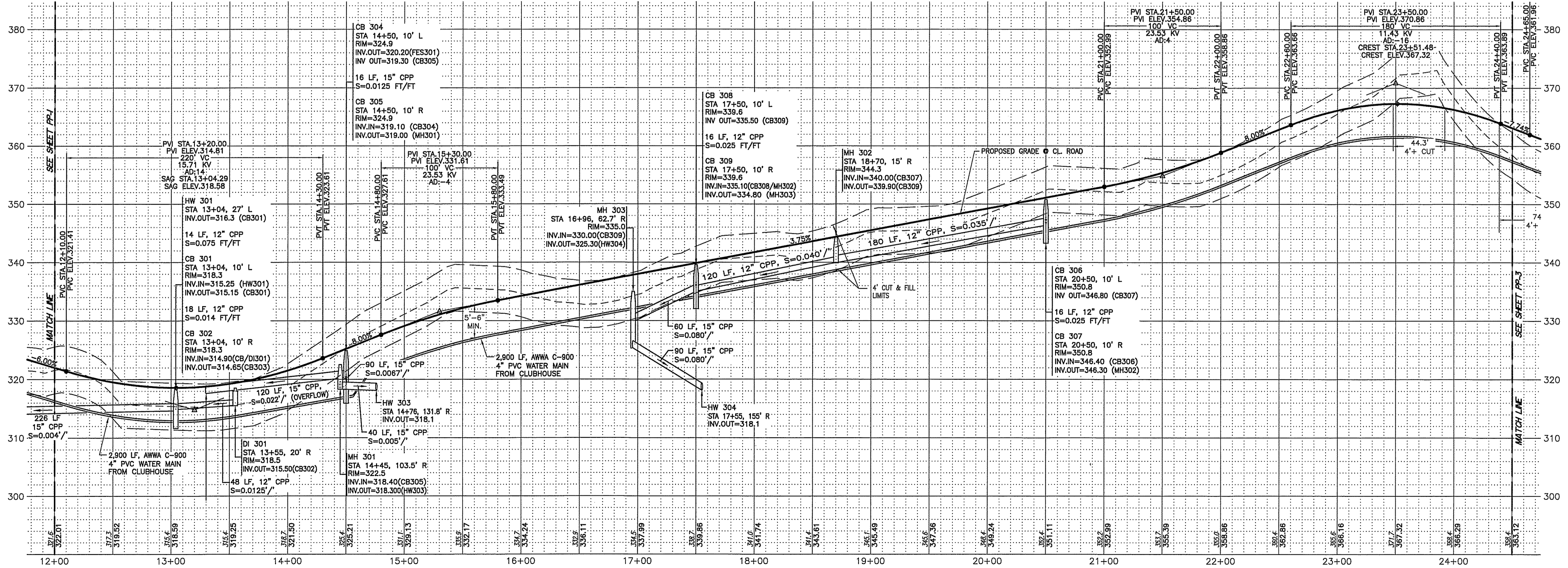
SEE SHEET PP-4 FOR ROADWAY CENTERLINE REPORT.



SEE SHEET PP-1 FOR LEGEND.



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Surveying • Engineering • Land Planning • Permitting • Septic Designs

FIELDSTONE LAND CONSULTANTS PLLC

206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

NO.	DATE	REV.	DATE	DESCRIPTION

ROADWAY PLAN AND PROFILE

MAIN ACCESS ROAD
STA 12+00 - STA 24+50

RAISANEN HOMES ELITE, LLC
P.O. BOX 748
NASHUA, NH 03061-0748

TODDY BROOK ESTATES
TODDY BROOK INVESTMENTS, LLC

PLANS ISSUED FOR:
MUNICIPAL REVIEW

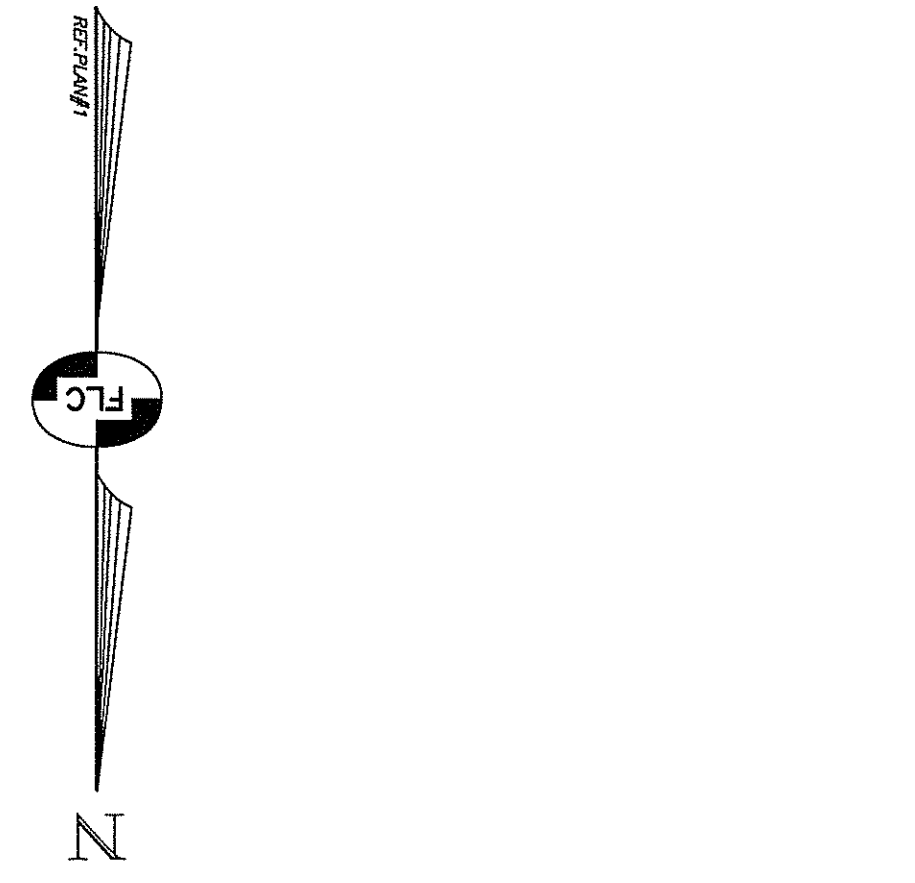
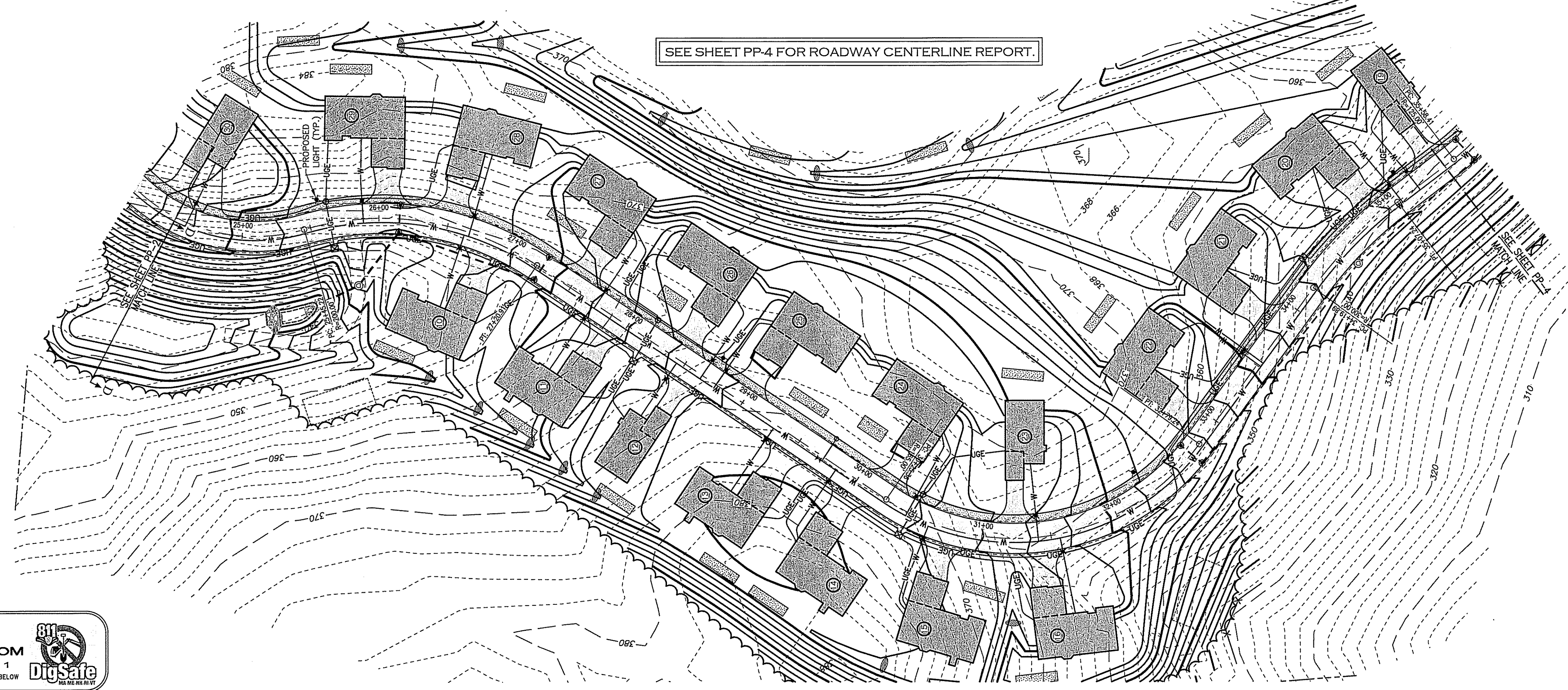
TAX MAP 41, LOTS 25, 28, 44
HOLLIS, NEW HAMPSHIRE

JULY 27, 2021
SCALE: 1" = 50' HORIZ. / 10' VERT.

PP-2
SHEET

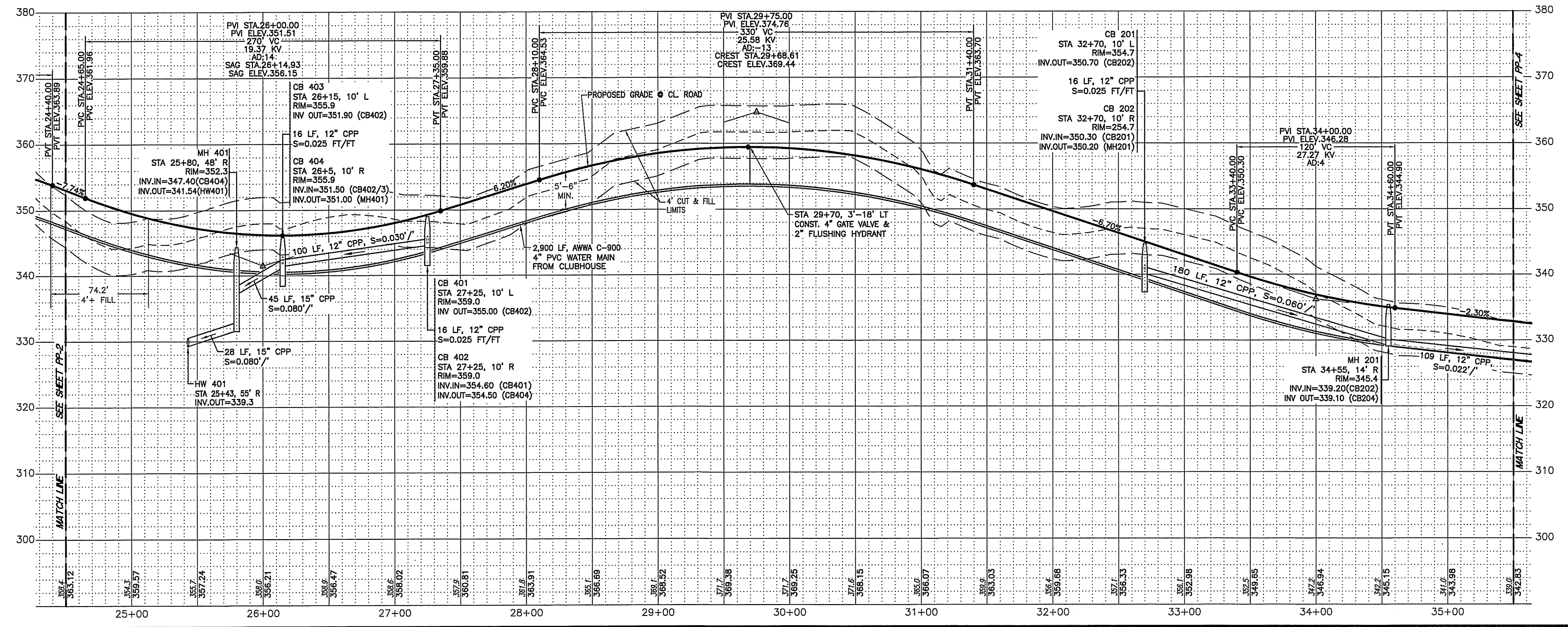
PROJECT NO. 159100
PAGE NO. 20 OF 29

FILE: 15915P00A.dwg



SEE SHEET PP-1 FOR LEGEND.

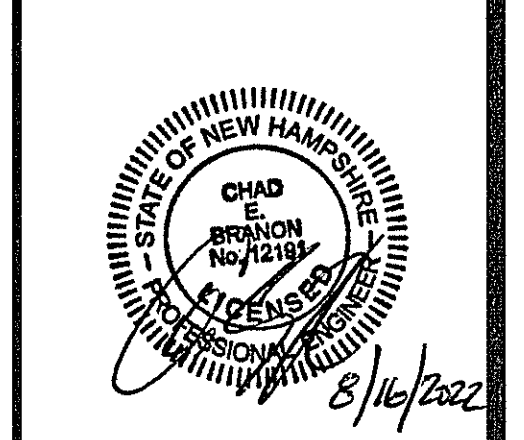
CONTACT DIG SAFE
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REV.	DATE	DESCRIPTION

ROADWAY PLAN AND PROFILE

RAISANEN HOMES ELITE, LLC
 P.O. BOX 748
 NASHUA, NH 03061-0748

MAIN ACCESS ROAD
 STA 24+50 - STA 35+50

TODDY BROOK ESTATES
 TODDY BROOK INVESTMENTS, LLC

PLANS ISSUED FOR:
MUNICIPAL REVIEW

TAX MAP 41, LOTS 25, 28, 44
 HOLLIS, NEW HAMPSHIRE

SCALE: 1" = 50' HORZ. / 10' VERT.

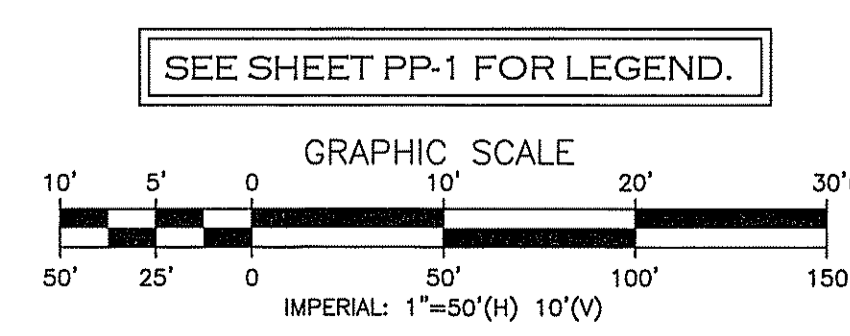
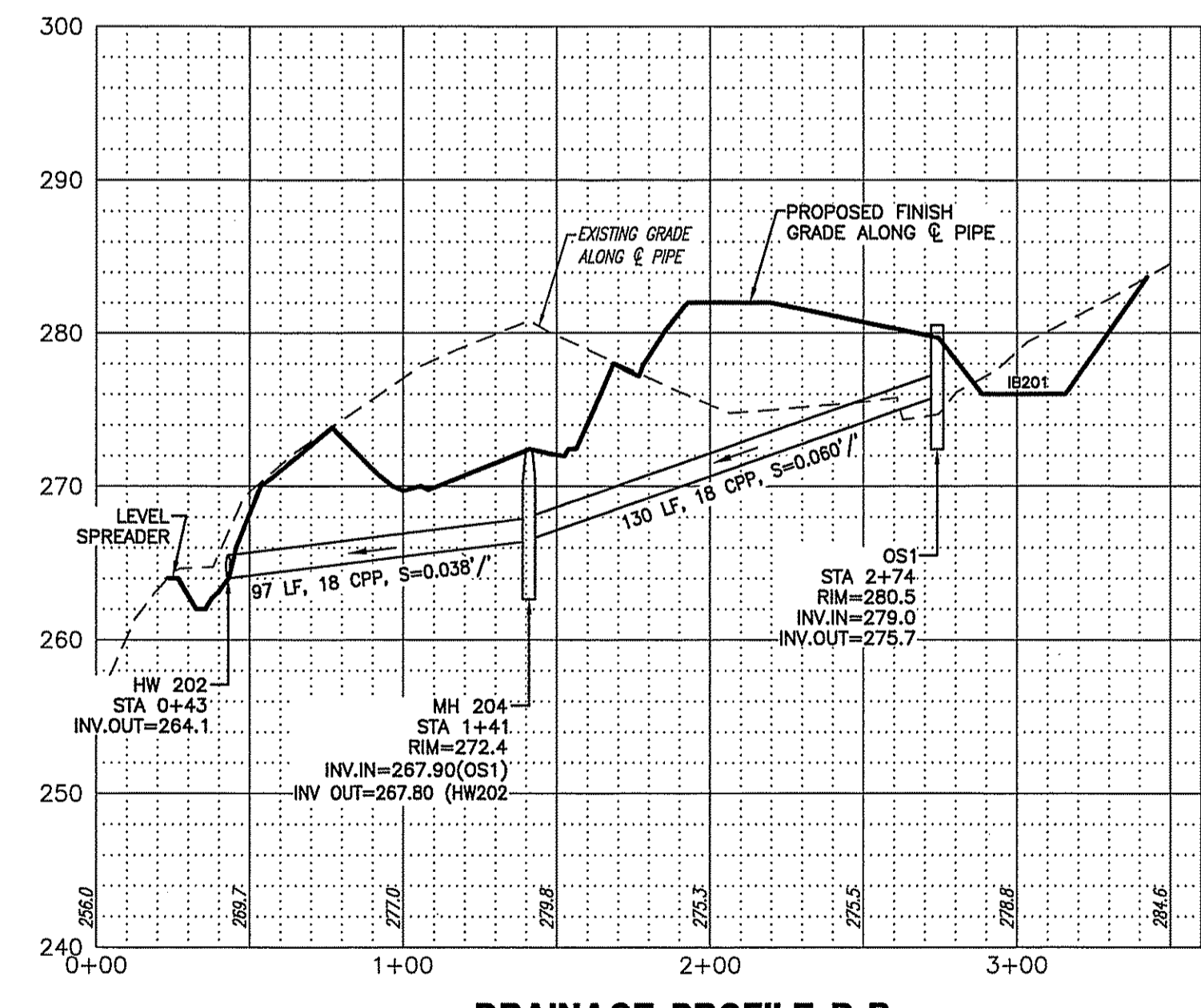
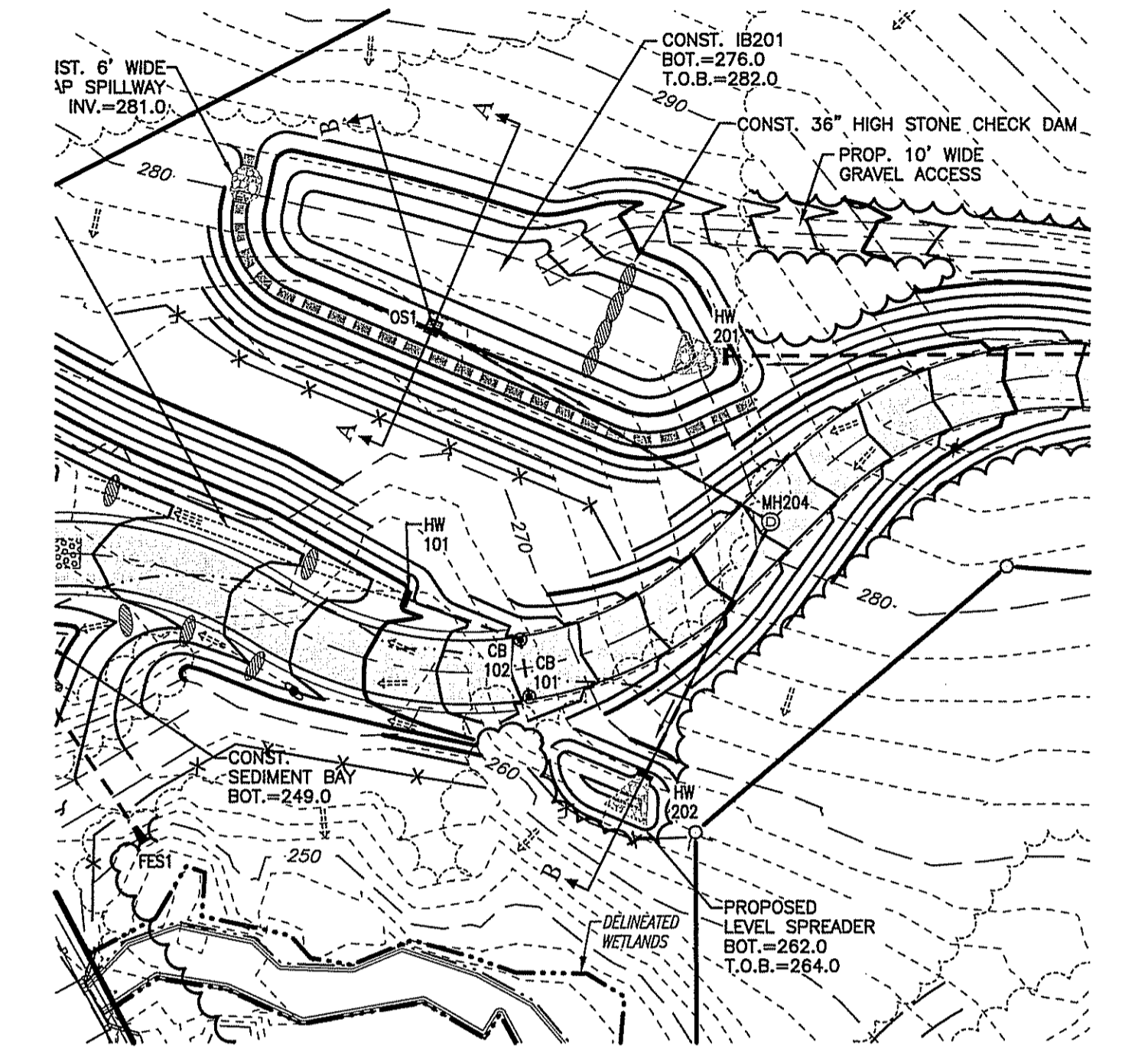
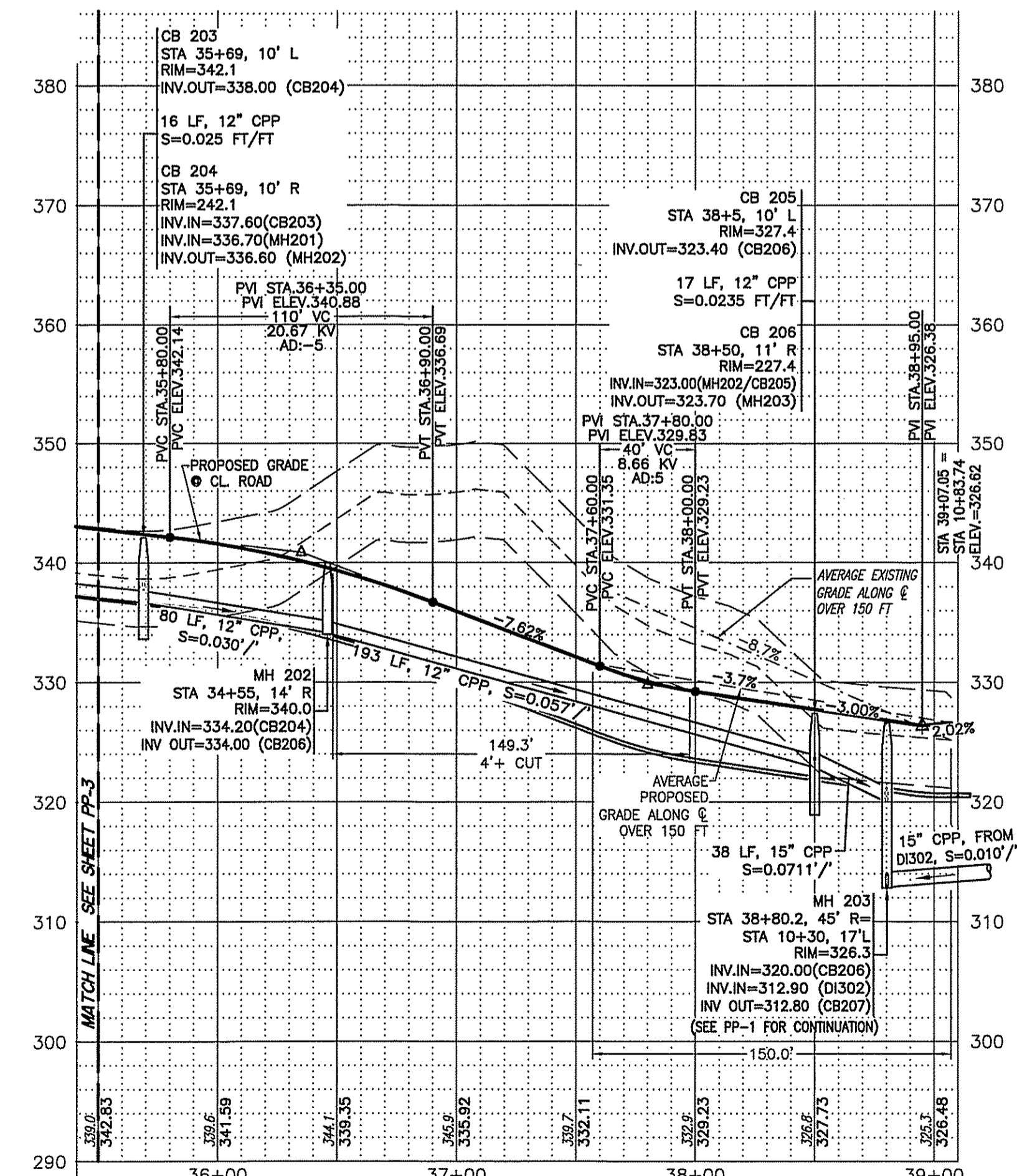
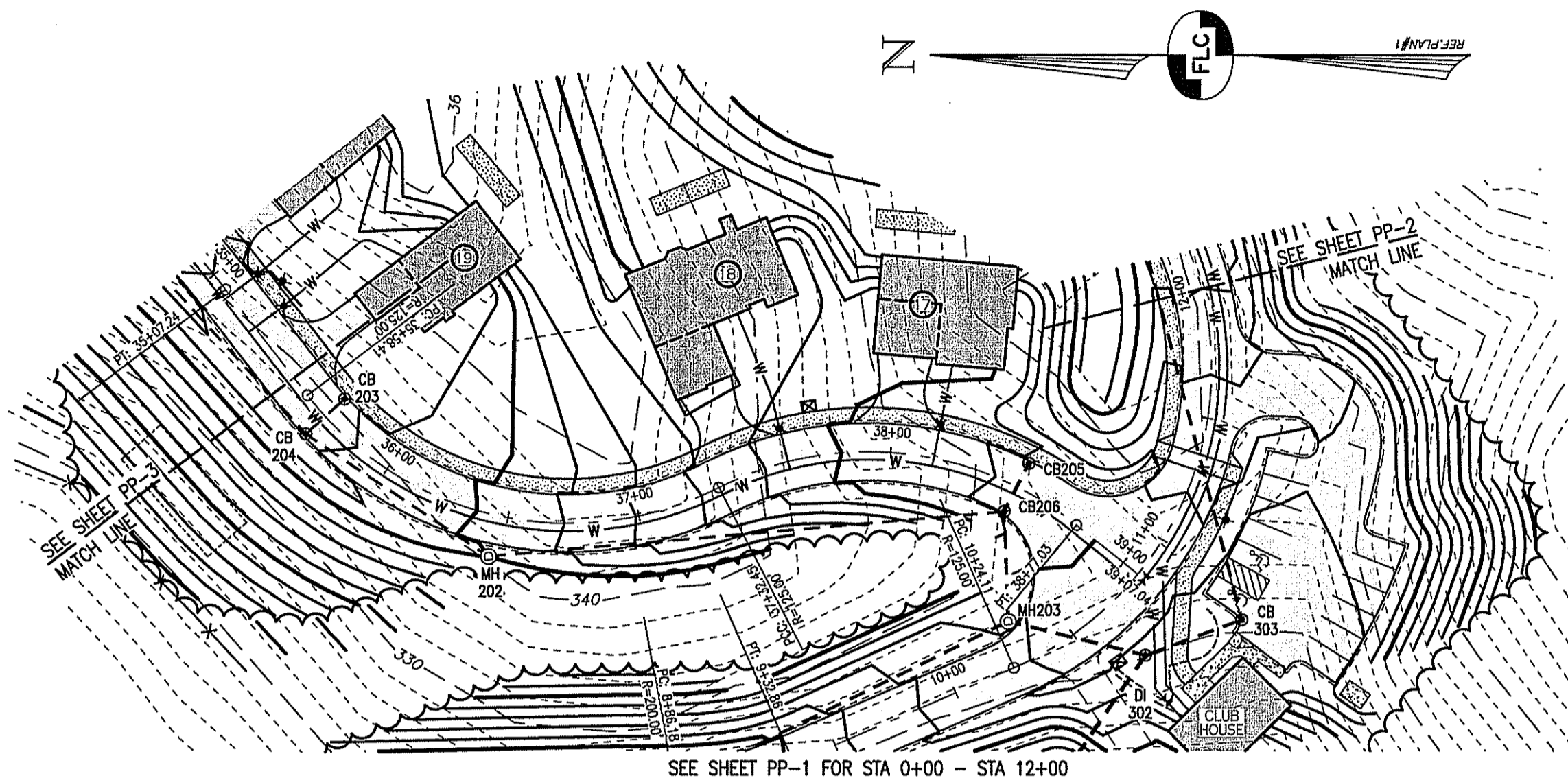
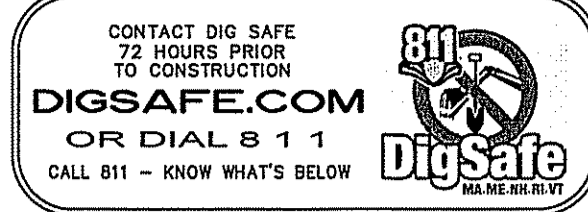
JULY 27, 2021

PP-3
 SHEET

PROJECT NO. 1591.00
 PAGE NO. 21 OF 29

FILE: 1591SP00A.dwg

Table with columns: Station, Northing, Easting, Bearing, Distance. Contains detailed survey data for various road segments and curves.



FIELDSTONE LAND CONSULTANTS, PLLC. Surveying Engineering Land Planning Permitting Septic Designs. 206 Elm Street, Milford, NH 03055. Phone: (603) 672-5456. Fax: (603) 413-5456. www.FieldstoneLandConsultants.com

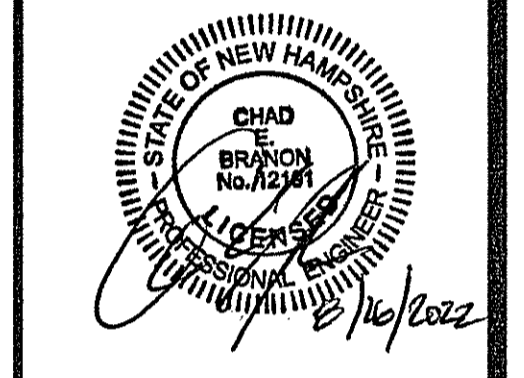
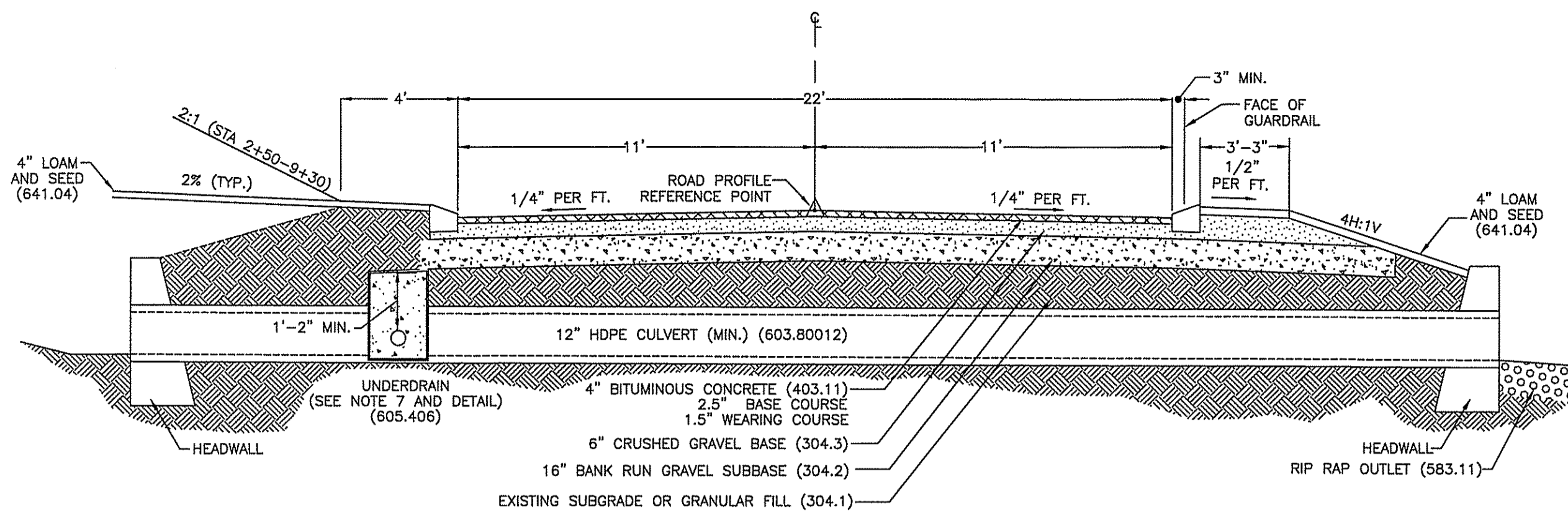


Table with columns: CK, DR, DESCRIPTION, DATE, REV.

RAISANEN HOMES ELITE, LLC. TODDY BROOK ESTATES. TAX MAP 41, LOTS 25, 28, 44. HOLLIS, NEW HAMPSHIRE. PROJECT NO. 1591.00. PAGE NO. 22 OF 29.



CLOSED DRAINAGE STA 2+30 - STA 39+00

GENERAL ROAD CONSTRUCTION NOTES

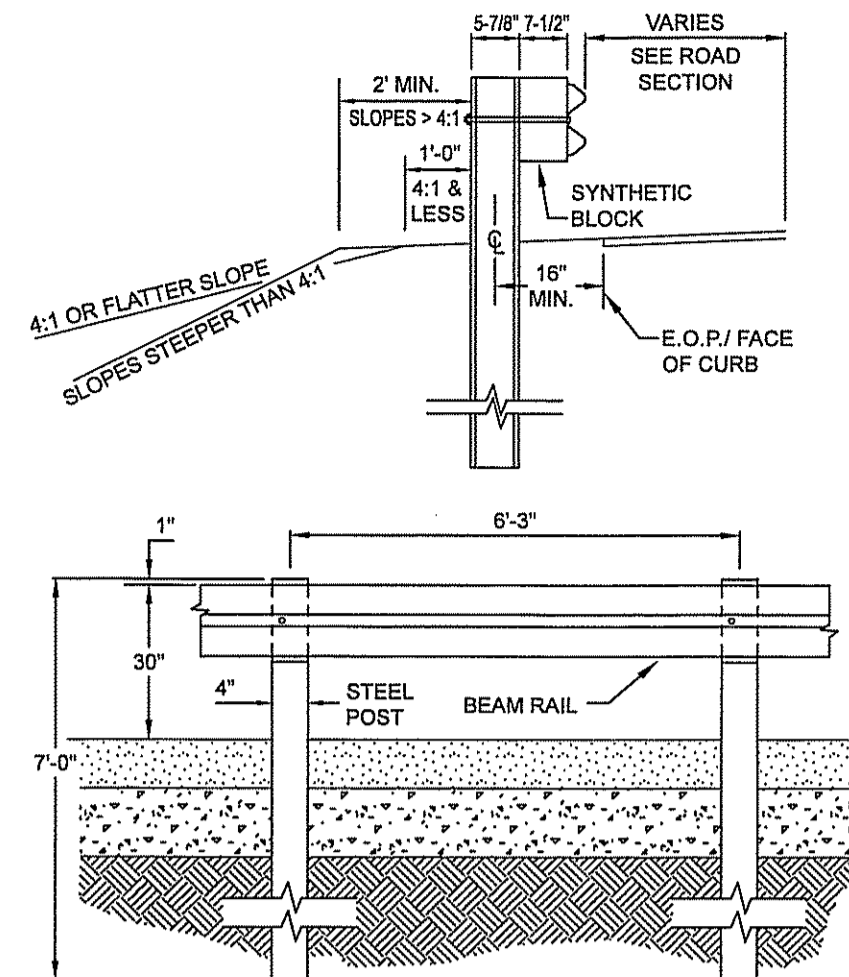
1. REMOVE ALL LOAM, CLAY, MUCK, STUMPS, AND OTHER IMPROPER ROAD FOUNDATION MATERIAL WITHIN 3' OF SUBGRADE. REPLACE WITH COMPACTED GRANULAR FILL MATERIAL ACCEPTABLE TO THE DIRECTOR OF PUBLIC WORKS. COMPACTION TO BE AT LEAST 95% OF THE DRY WEIGHT AS DETERMINED BY MODIFIED PROCTOR TESTING (ASTM 1557).
2. ALL MATERIALS AND CONSTRUCTION SHALL MEET AND BE COMPLETED IN STRICT ACCORDANCE WITH THE TOWN OF HOLLIS' CURRENT ROAD AND DRAINAGE SPECIFICATIONS.
3. WHERE ROAD GRADE IS 5% OR GREATER, ROAD SWALE SHALL BE LINED WITH RIPRAP (2 LAYERS, 6" TO 8" STONE, 6' WIDE WITH 6" GRAVEL BASE OR EROSION CONTROL FABRIC).
4. THE CONSTRUCTION OF ALL ROADWAY AND DRAINAGE FACILITIES SHALL MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
5. UNDERDRAIN PIPE SHALL BE REQUIRED IN LEDGE CUT SECTIONS OR WHERE DIRECTED BY THE TOWN FIELD ENGINEER. THE PIPE SHALL DISCHARGE THROUGH A MORTARED RUBBLE AND MASONRY ENDWALL OR INTO A CATCH BASIN.

ROAD DESIGN REQUIREMENTS

ROAD GRADE (MIN.)	0.5%
ROAD GRADE (MAX.)	8%
GRADE WITHIN 100' OF INTERSECTION	3%
ANGLE AT INTERSECTION	80°
CENTERLINE RADIUS - CURVES (MIN.)	125'
EDGE OF PAVEMENT RADII (MIN.)	20'
DESIGN SPEED (LOCAL ROAD)	35 MPH

GUARDRAIL LOCATIONS

- GUARDRAIL SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
- STA 7+10 - STA 10+32 RT. (325 FT.)
 - STA 23+93 - STA 25+68 RT. (187.5 FT.)
 - STA 32+03 - STA 36+43 RT. (450 FT.)

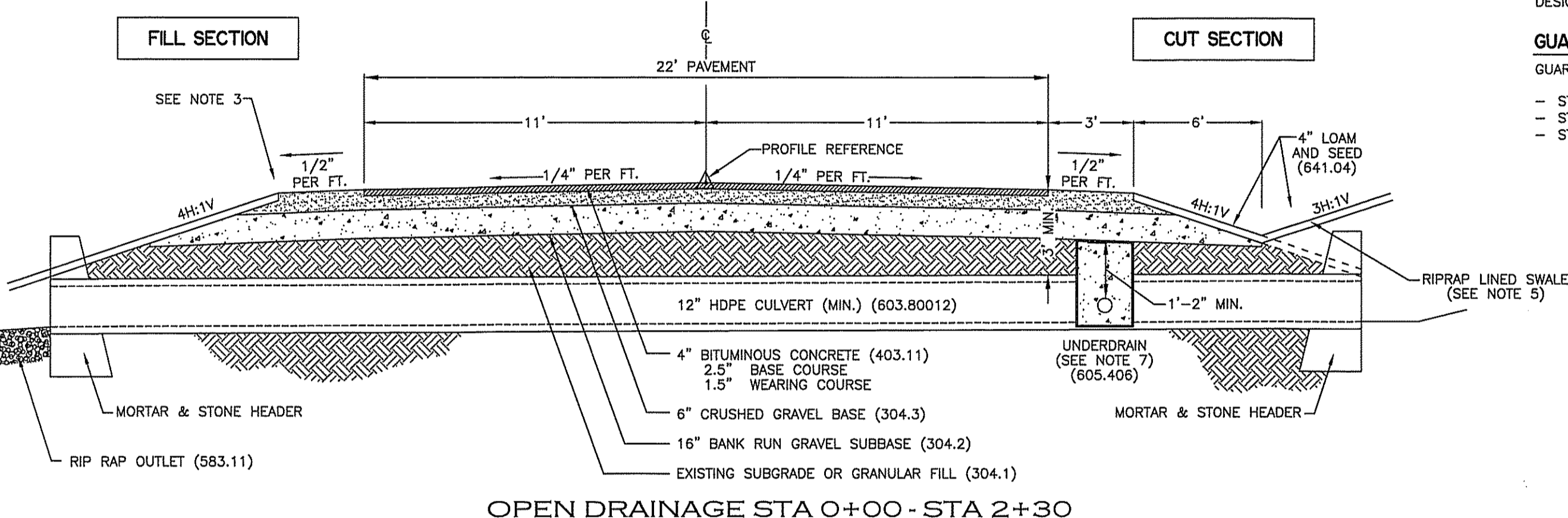


1. ALL MATERIALS AND CONSTRUCTION REQUIREMENTS SHALL CONFORM TO "NH DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS SET FORTH IN SECTION 606, 2010 EDITION.
2. ALL GUARDRAIL SHALL BE STEEL BEAM GUARD RAIL WITH W6X9 STEEL POST AND SYNTHETIC OFFSET BLOCK (606.120).
3. THE END TREATMENT FOR EACH SEGMENT OF RAIL SHALL BE A TERMINAL UNIT TYPE G-2 (606.147) STANDARD No. 8, NH DOT STANDARD PLANS.
4. ALL RAIL MATERIALS SHALL BE GALVANIZED STEEL AND IS SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.

SCALE: N.T.S.

STANDARD NH DOT BEAM GUARDRAIL 5 DT-1

CONSTRUCTION SEQUENCE NOTES 7 DT-1



OPEN DRAINAGE STA 0+00 - STA 2+30

TYPICAL CROSS-SECTION - SUBDIVISION STREET

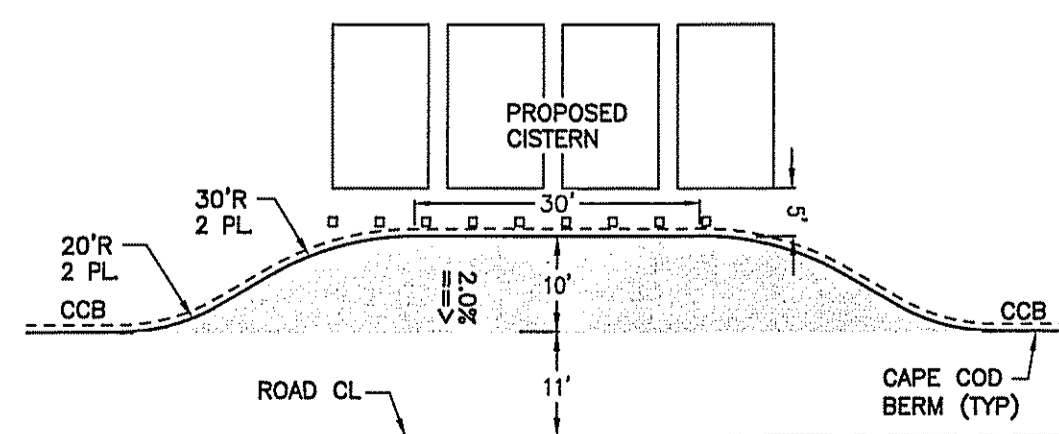
SCALE: N.T.S.

1 DT-1

1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF HOLLIS AND THE NH DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION - 2010.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. FIELDSTONE LAND CONSULTANTS, PLLC, AS THE DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-800-255-4977 IN NH, 1-888-344-7233 IN MA).
4. COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, ZONING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
5. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND FIELDSTONE LAND CONSULTANTS, PLLC PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.
8. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 430:53 AND AGR 3800 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

GENERAL CONSTRUCTION NOTES

2 DT-1



FIRE TRUCK PULL OFF

SCALE: N.T.S.

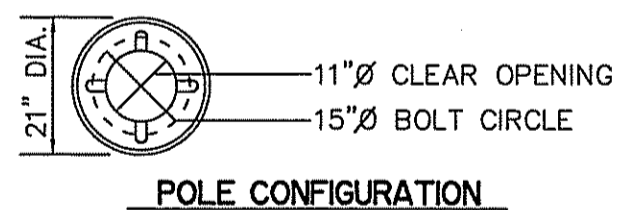
3 DT-1

CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION

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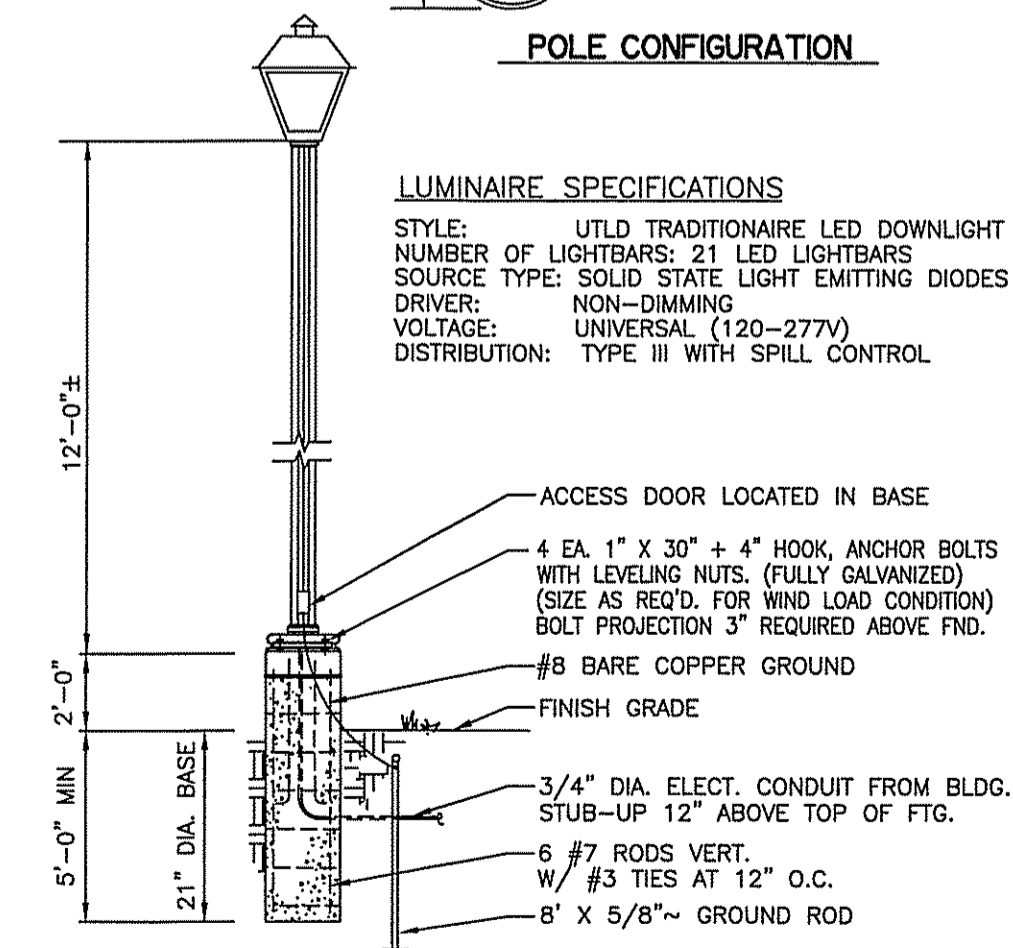
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POLE CONFIGURATION

LUMINAIRE SPECIFICATIONS

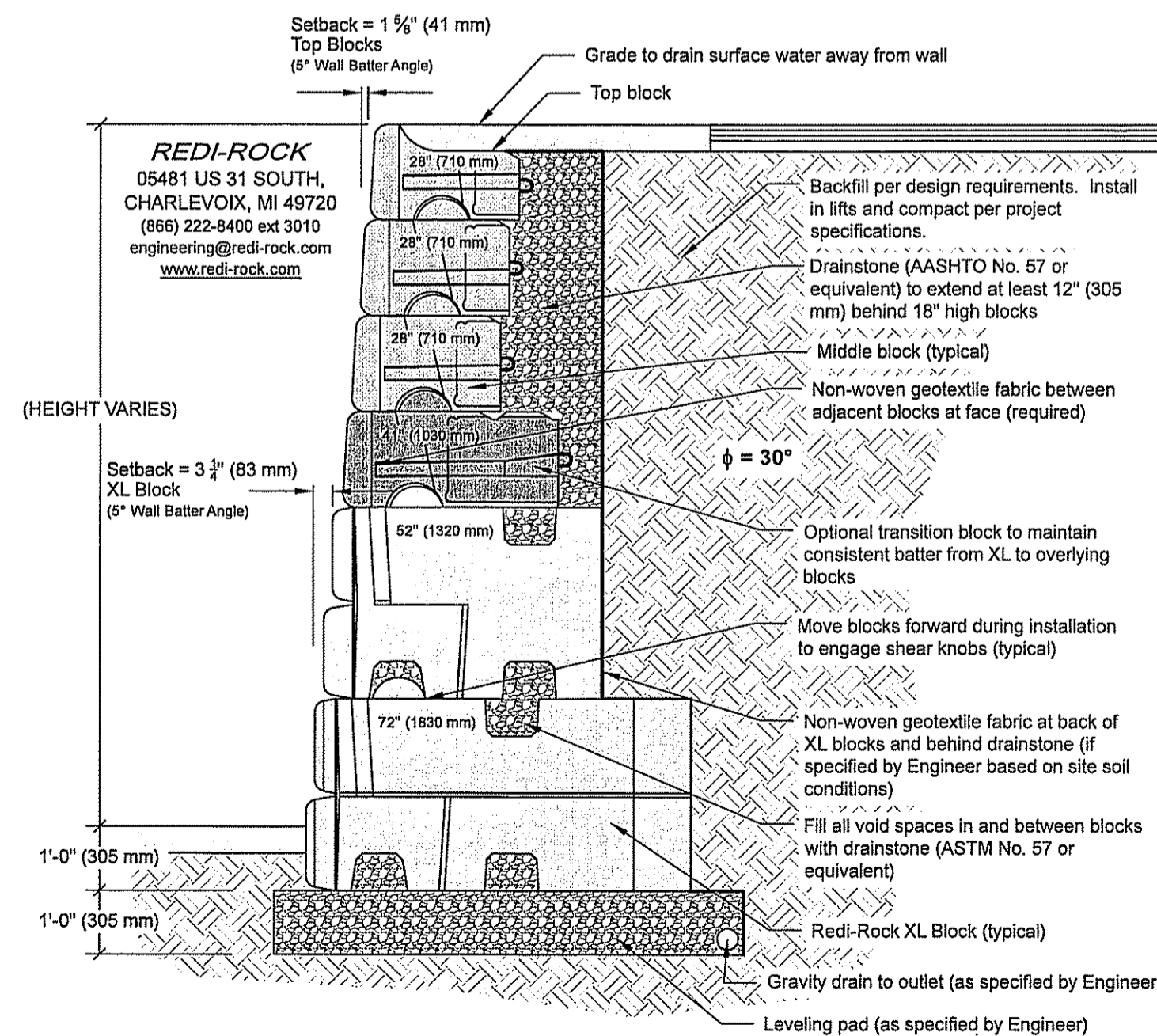
STYLE: UTLD TRADITIONALE LED DOWNLIGHT
 NUMBER OF LIGHTBARS: 21 LED LIGHTBARS
 SOURCE TYPE: SOLID STATE LIGHT EMITTING DIODES
 DRIVER: NON-DIMMING
 VOLTAGE: UNIVERSAL (120-277V)
 DISTRIBUTION: TYPE III WITH SPILL CONTROL



NOTE: STREET LIGHTING SYSTEM SHALL BE APPROVED BY THE TOWN PRIOR TO CONSTRUCTION.

TYPICAL STREET LIGHT DETAIL

4 DT-1



This detail is for reference only. Determination of the suitability and/or manner of use of any details contained in this document is the sole responsibility of the design engineer of record. Final project designs, including all construction details, shall be prepared by a licensed professional engineer using the actual conditions of the proposed site. Final wall design must address both internal and external drainage and all modes of wall stability.

PRELIMINARY
Professional Engineering Design
Required for Construction

MSE RETAINING WALL (REDI-ROCK OR EQUAL)

6 DT-1



REV.	DATE	DESCRIPTION	C/O	DR	NRC	CK
A	6/27/22	PER PLANNING BOARD				

GENERAL CONSTRUCTION DETAILS

TODDY BROOK ESTATES

TAX MAP 41 LOTS 25, 28 & 44

(SILVER LAKE ROAD)

HOLLIS, NEW HAMPSHIRE

PREPARED FOR AND LAND OF:

TODDY BROOK INVESTMENTS, LLC

P.O. BOX 748, NASHUA, NH 03061-0748 (LOT 41-25)

AND LAND OF:

RAISANEN HOMES ELITE LLC

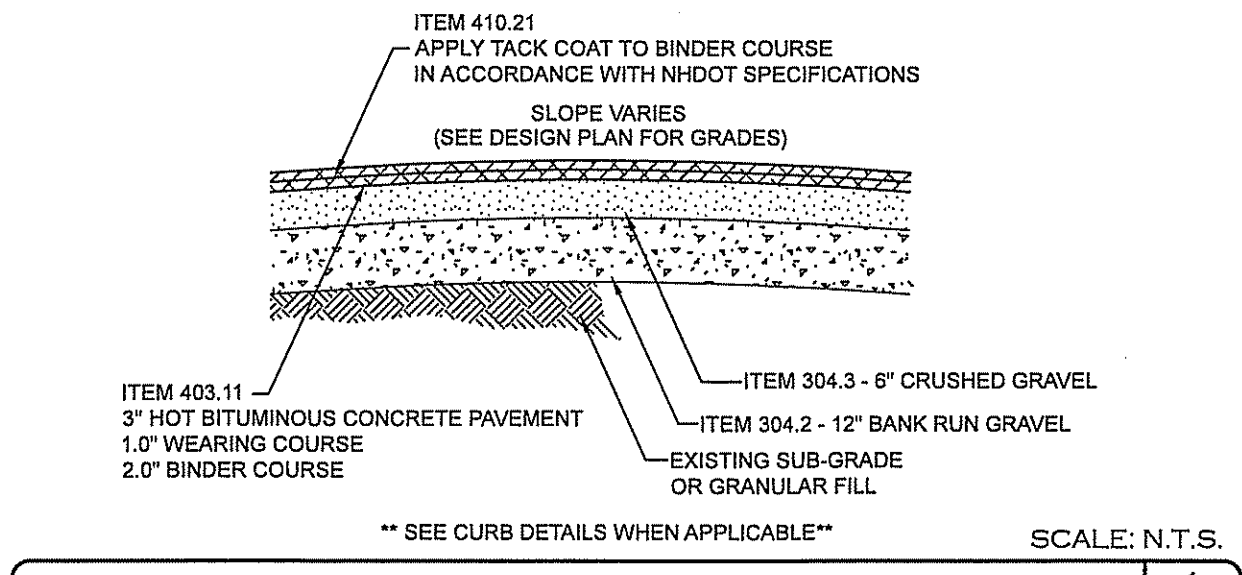
P.O. BOX 748, NASHUA, NH 03061-0748 (LOTS 41-28 & 41-44)

SCALE: NONE JULY 23, 2021

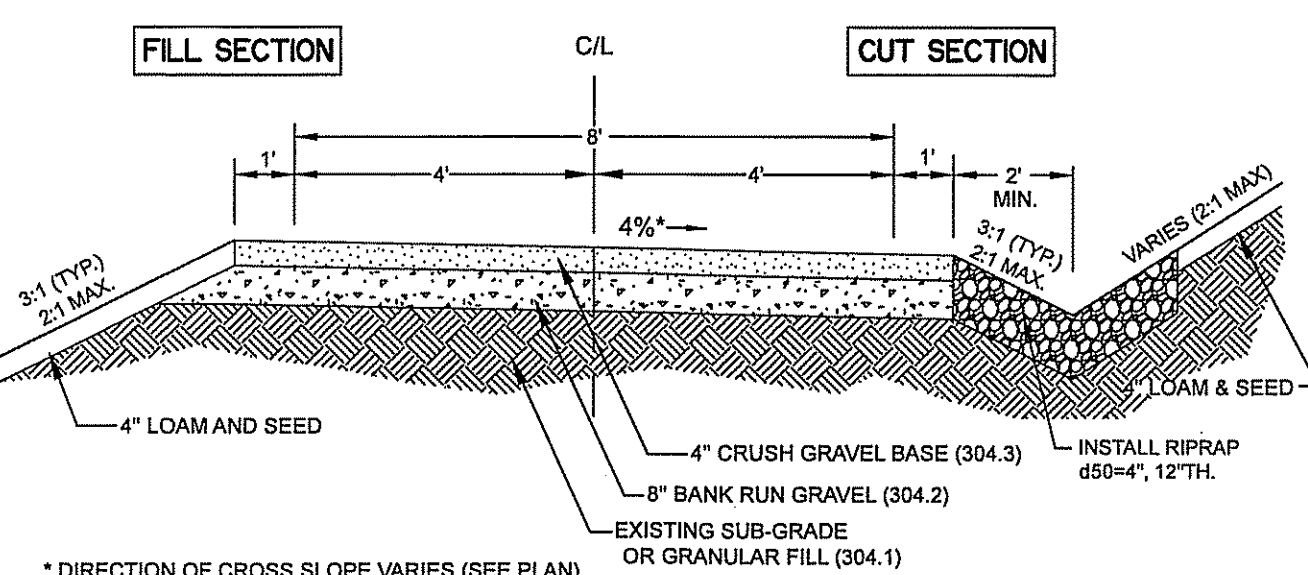
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FIELDSTONE LAND CONSULTANTS, PLLC

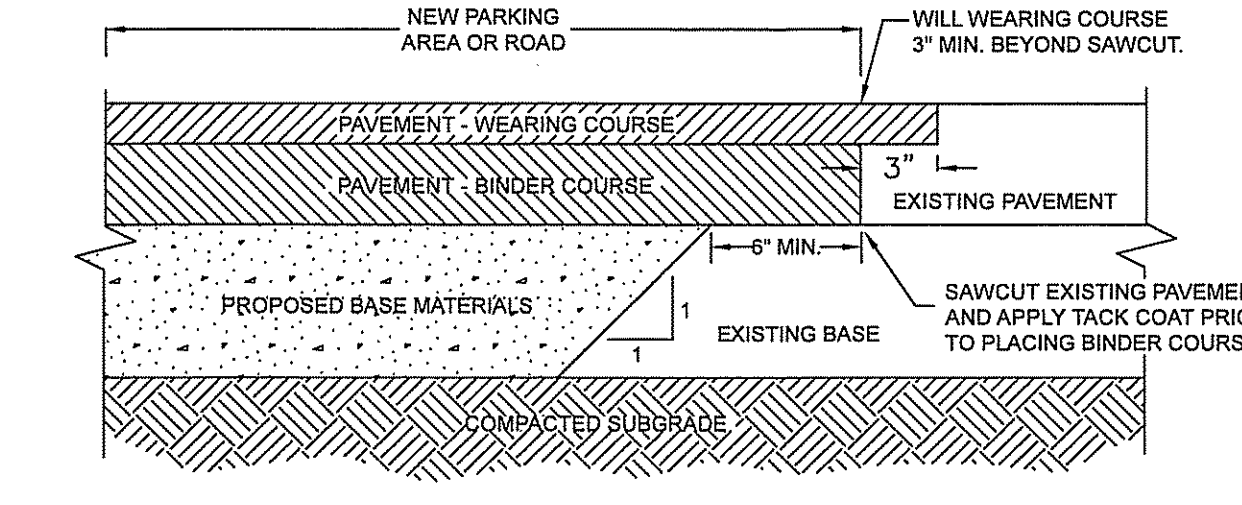
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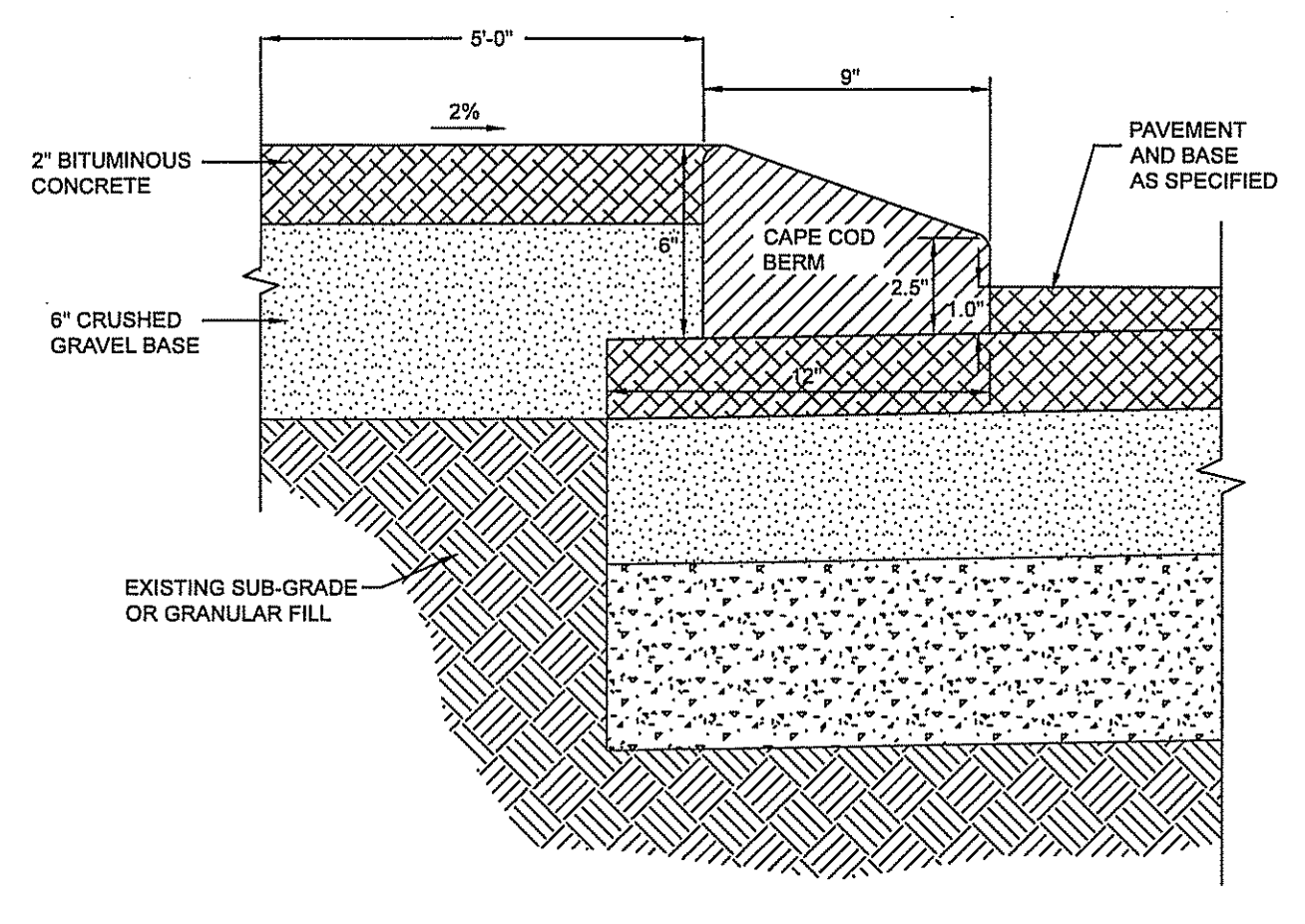
PARKING LOT PAVEMENT SECTION SCALE: N.T.S. DT-2



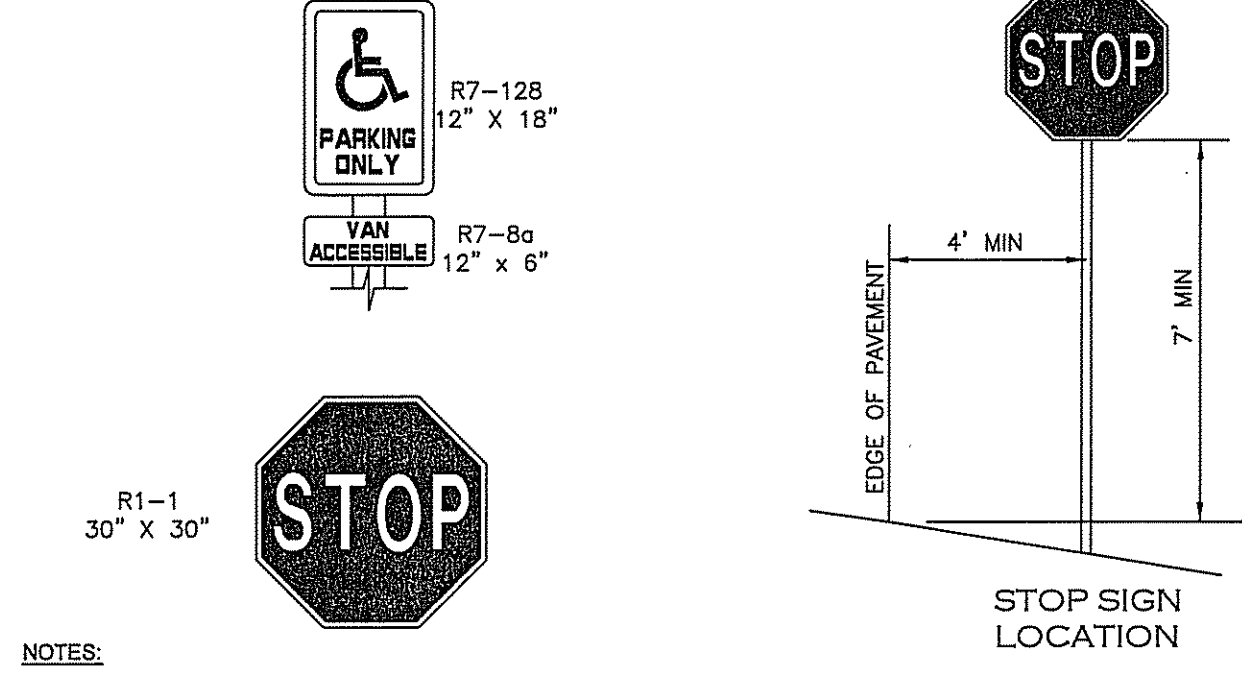
MAINTENANCE ACCESS GRAVEL DRIVE SCALE: N.T.S. DT-2



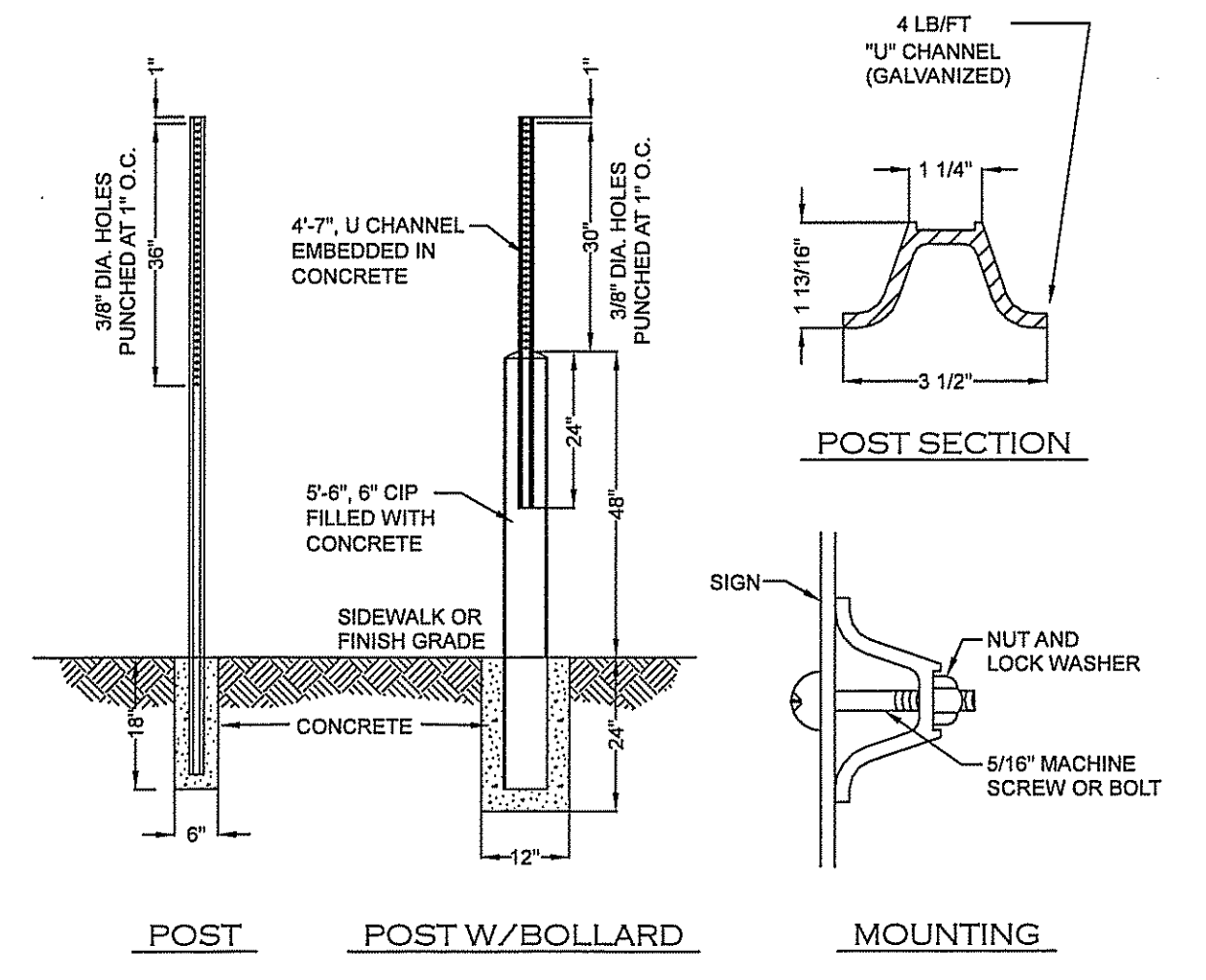
PAVEMENT MATCH SCALE: N.T.S. DT-2



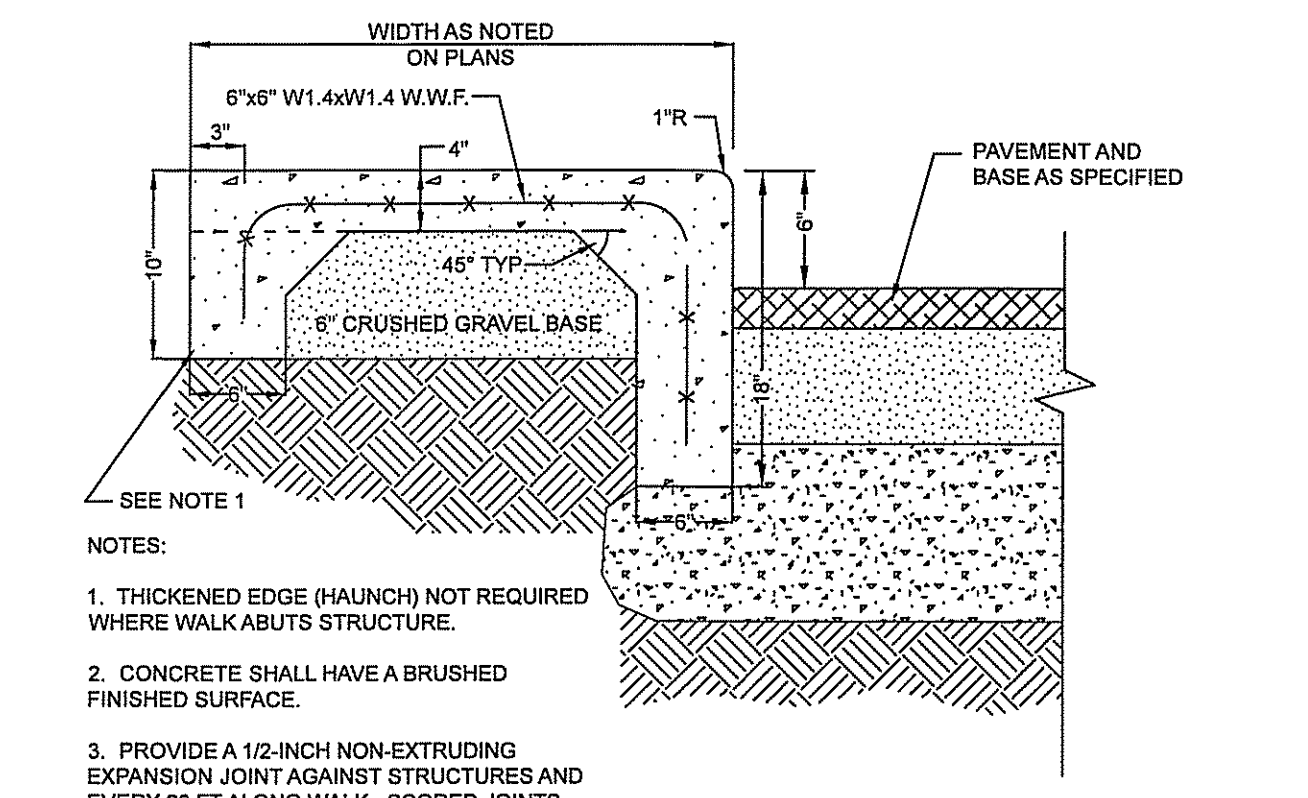
SIDEWALK - ASPHALT (CAPE COD BERM) SCALE: N.T.S. DT-2



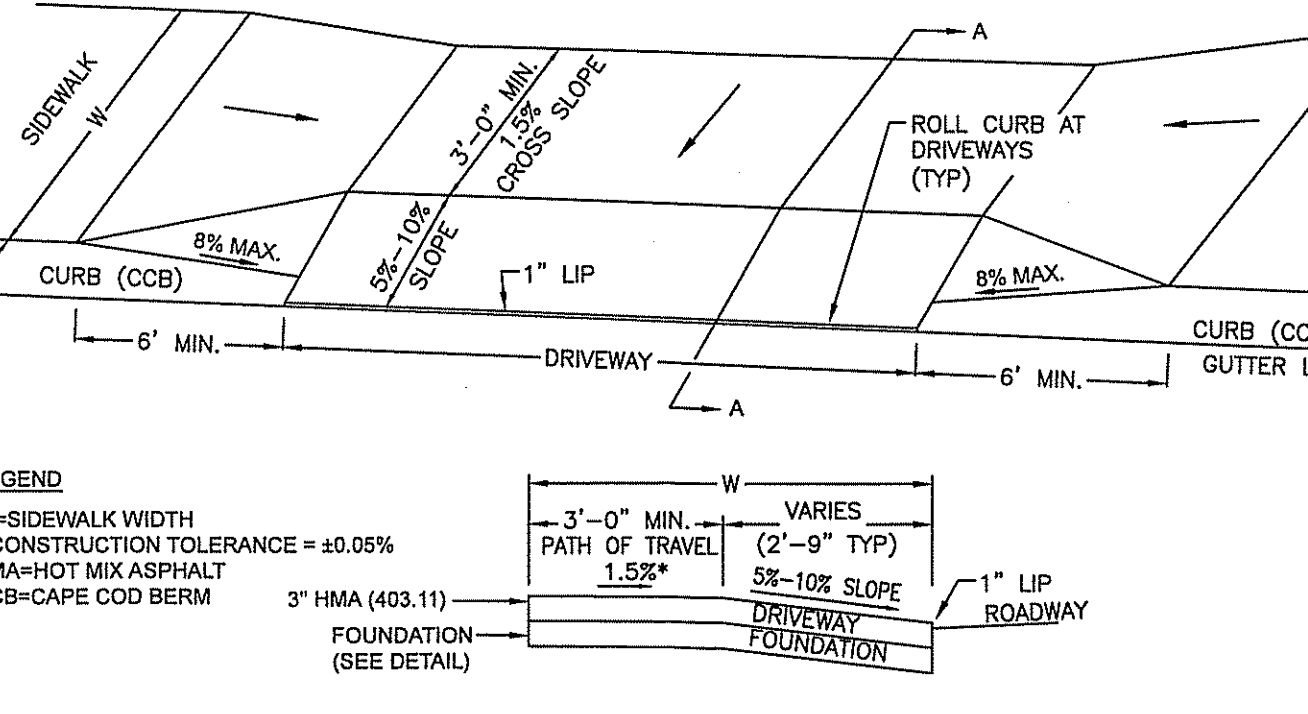
TRAFFIC SIGNS - ON SITE SCALE: N.T.S. DT-2



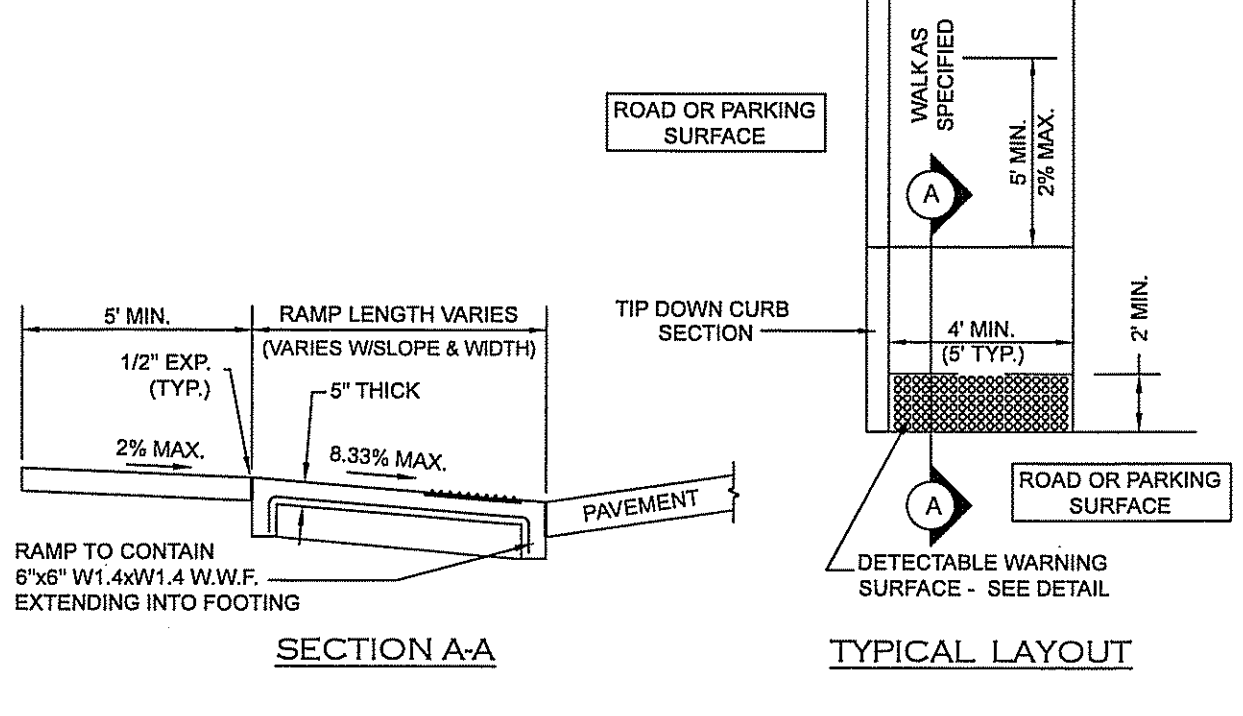
SIGN POST - STANDARD & W/BOLLARD SCALE: N.T.S. DT-2



SIDEWALK - CONCRETE (VERTICAL CONCRETE CURB) SCALE: N.T.S. DT-2



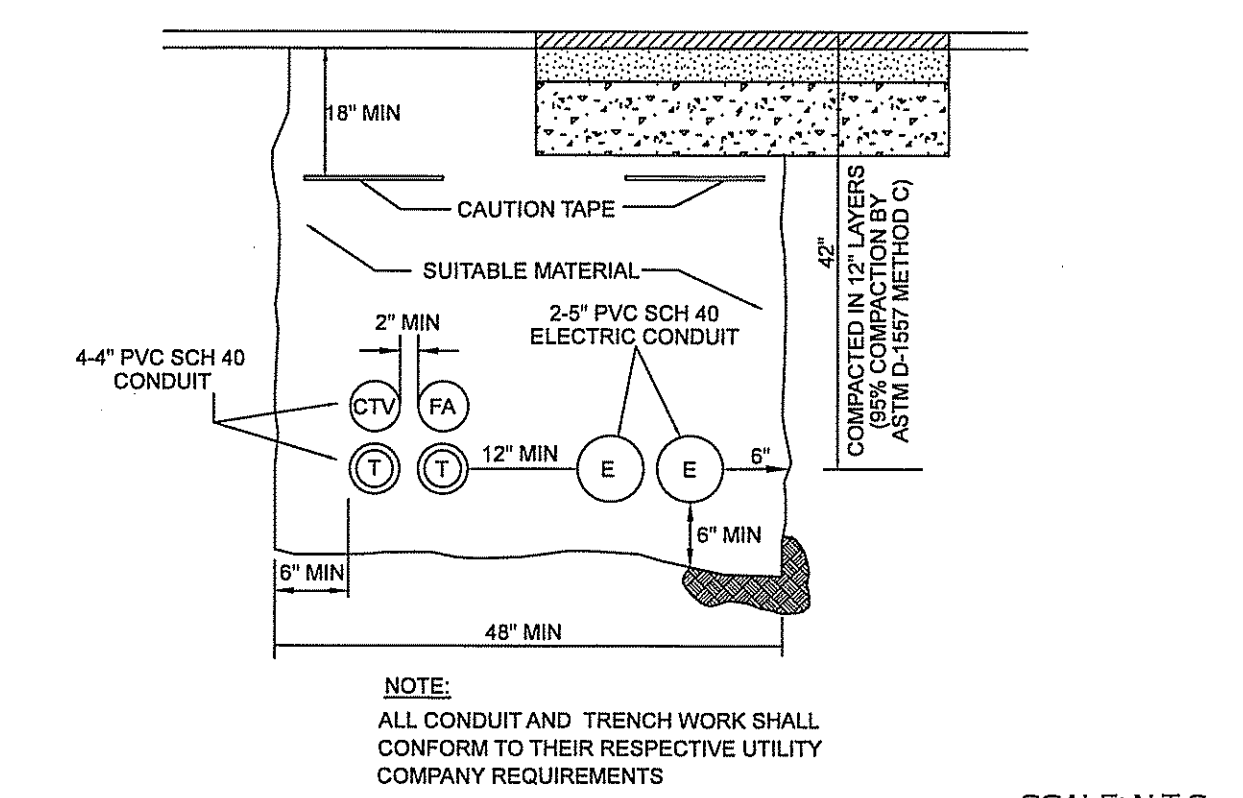
SIDEWALK THROUGH DRIVEWAYS WITH CAPE COD BERM SCALE: N.T.S. DT-2



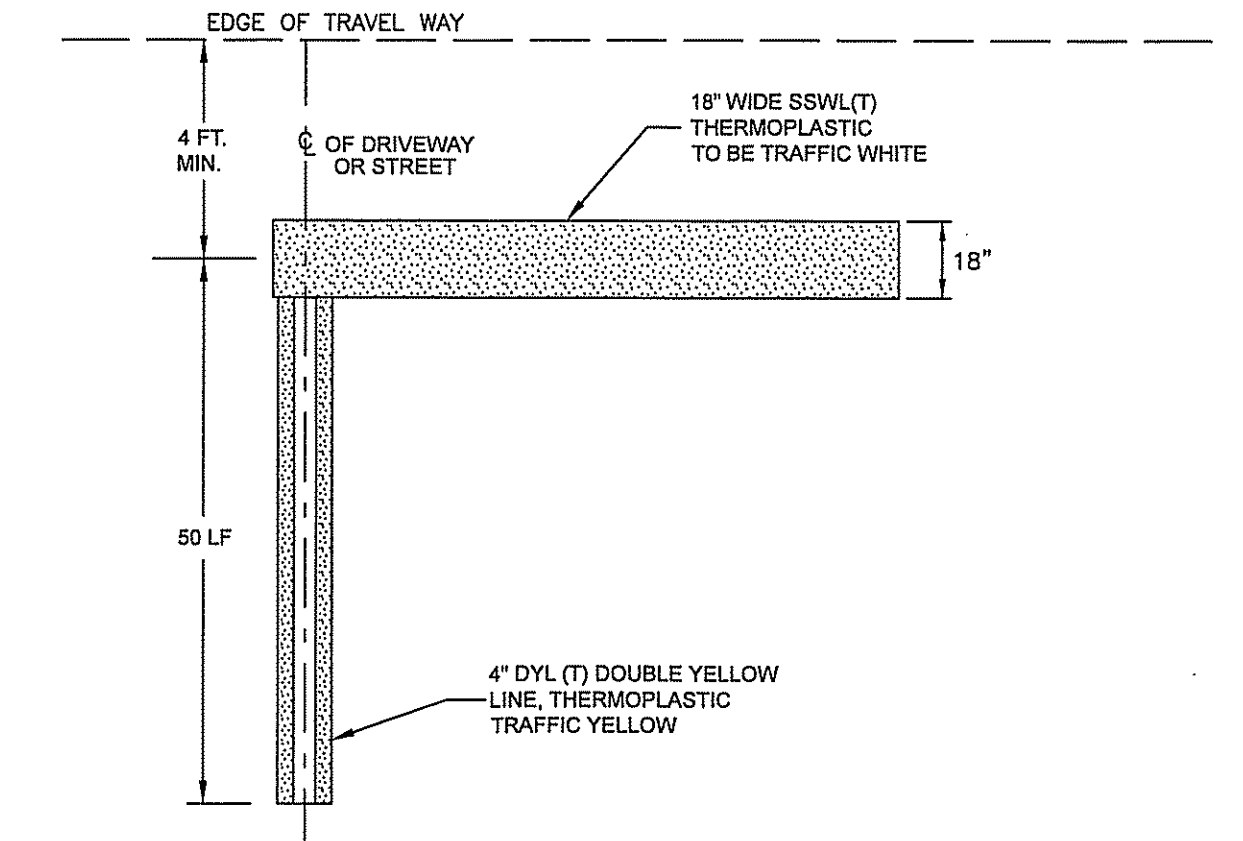
HANDICAP RAMP NOTES:

- A SIDEWALK CURB RAMP IS DEFINED AS THE ENTIRE CONCRETE SURFACE WHICH INCLUDES THE RAMP AND FLARED SIDES (IF ANY).
- THE MAXIMUM RUNNING SLOPE OF ANY SIDEWALK CURB RAMP IS 8.33% (1:12). THE MAXIMUM CROSS SLOPE IS 2%. THE SLOPE OF THE LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION. THE FLARED SIDE OF THE RAMP SHALL LIE ON A SLOPE OF 10% (1:10) MAXIMUM MEASURED ALONG THE CURB.
- THE BOTTOM OF THE SIDEWALK CURB RAMP OR LANDING, EXCLUSIVE OF THE FLARED SIDES, SHALL BE WHOLLY CONTAINED WITHIN THE CROSSWALK MARKINGS. IT IS DESIRABLE THAT THE LOCATION OF THE RAMP BE AS CLOSE AS POSSIBLE TO THE CENTER OF THE CROSSWALK.
- THE SIDEWALK CURB RAMP OR THE LANDING AREA (PARALLEL SIDEWALK CURB RAMP) SHALL CONTRAST VISUALLY WITH THE ADJOINING SIDEWALK SURFACE, EITHER ASPHALT/LIGHT-COLORED CONCRETE OR LIGHT-COLORED CONCRETE/DARK-STAINED CONCRETE. THE CONCRETE SURFACE SHALL BE SLIP RESISTANT (BROOM FINISHED).
- DETECTABLE WARNING PANELS SHALL BE THE FULL WIDTH OF THE LANDING, BLENDED TRANSITION, OR CURB RAMP THEY ARE A PART OF AND SHALL BE A MINIMUM OF 2 FEET IN DEPTH. THE ROWS OF TRUNCATED DOMES SHALL BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP, BLENDED TRANSITION OR LANDING AND THE STREET.
- FOR NEW CONSTRUCTION - ALL DETECTABLE WARNINGS ARE TO BE CAST IRON AND SET IN CONCRETE.

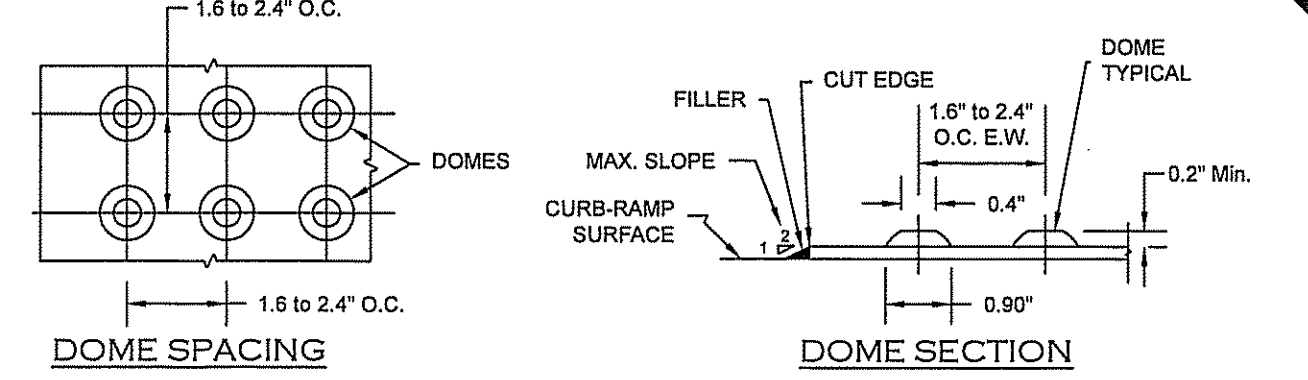
HANDICAP SIDEWALK RAMP AT END OF WALK SCALE: N.T.S. DT-2



TYPICAL UTILITY TRENCH SCALE: N.T.S. DT-2

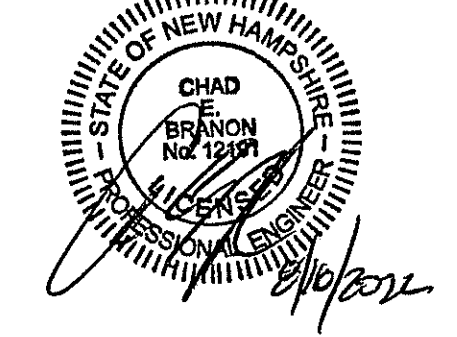


STOP BAR DETAIL SCALE: N.T.S. DT-2



- NOTES:**
- DETECTABLE WARNINGS SHALL BE PROVIDED WHERE EVER A CURB RAMP CROSSES A VEHICULAR WAY.
 - DETECTABLE WARNINGS SHALL BE PROVIDED 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. THE DETECTABLE WARNING SHALL BE LOCATED ADJACENT TO THE CURB LINE.
 - DETECTABLE WARNINGS MATERIALS SHALL BE TEXTURED TO PROVIDE SLIP RESISTANCE AND SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES - EITHER LIGHT ON DARK OR DARK ON LIGHT. THE PREFERRED COLOR FOR A LIGHT BACKGROUND IS RED BRICK AND FOR A DARK BACKGROUND SHALL BE SAFETY YELLOW.
 - DETECTABLE WARNINGS SHALL BE PLACED 6" TO 8" BEHIND THE FACE OF THE CURB JOINT.
 - DETECTABLE WARNING SURFACES SHALL BE SURFACE MOUNTED, THIN MOLDED SHEETGOODS WHICH INCLUDES TILES OR MATS (RIGID OR FLEXIBLE, WITH TRUNCATED DOMES), BONDED AND/OR ANCHORED TO THE SURFACE OF THE RAMP. THE SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES GUIDELINES 4.29.10.3.

DETECTABLE WARNING SURFACE FOR HANDICAP RAMPS SCALE: N.T.S. DT-2



REV.	DATE	DESCRIPTION	C/O	DR	CK
A	6/27/22	PER PLANNING BOARD	-	DSL	NRC

GENERAL CONSTRUCTION DETAILS

TODDY BROOK ESTATES

TAX MAP 41 LOTS 25, 28 & 44
(SILVER LAKE ROAD)
HOLLIS, NEW HAMPSHIRE
PREPARED FOR AND LAND OF:
TODDY BROOK INVESTMENTS, LLC
P.O. BOX 748, NASHUA, NH 03061-0748 (LOT 41-25)
AND LAND OF:
RAISANEN HOMES ELITE LLC
P.O. BOX 748, NASHUA, NH 03061-0748 (LOTS 41-28 & 41-44)

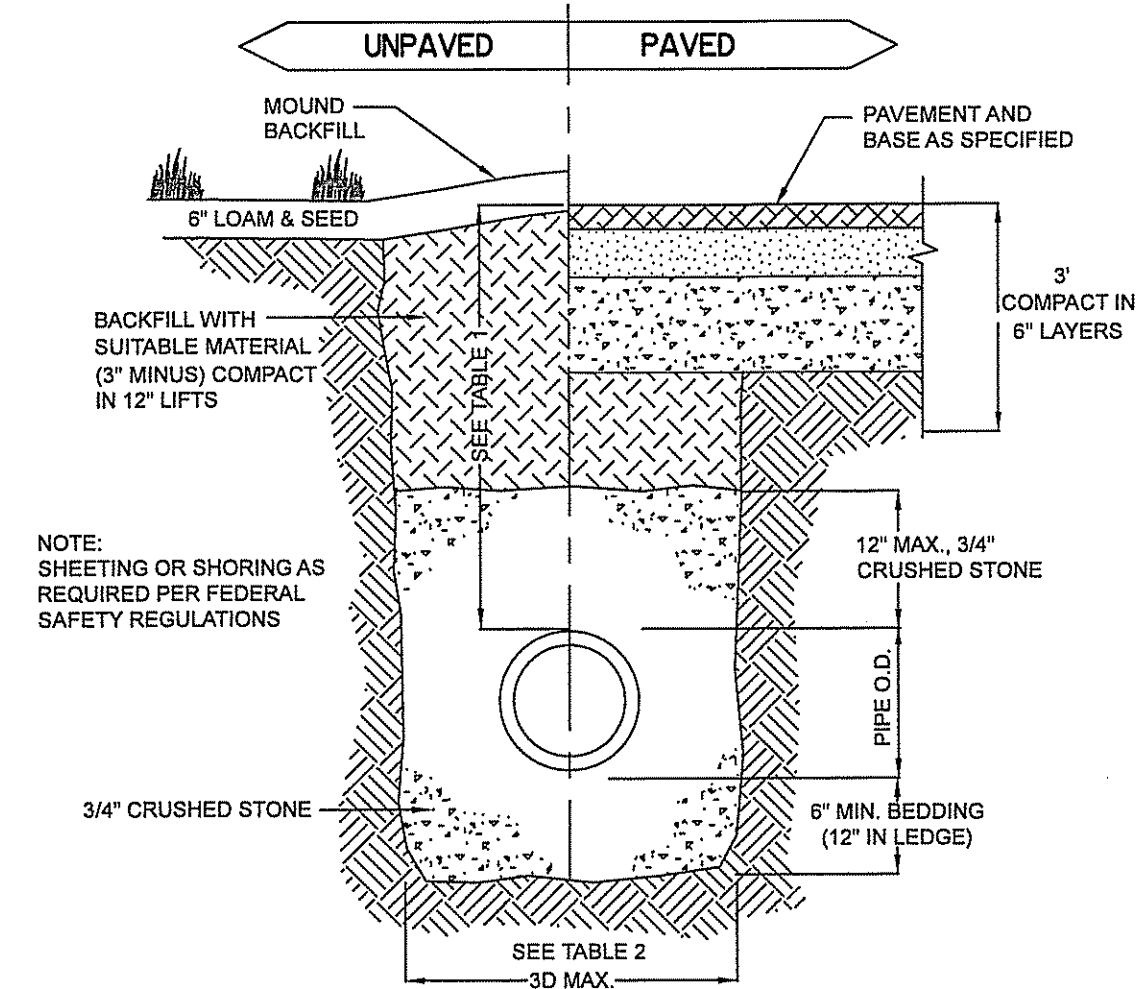
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FILE: 1591DT00A.dwg PROJ. NO. 1591.00 SHEET: DT-2 PAGE NO. 24 OF 29

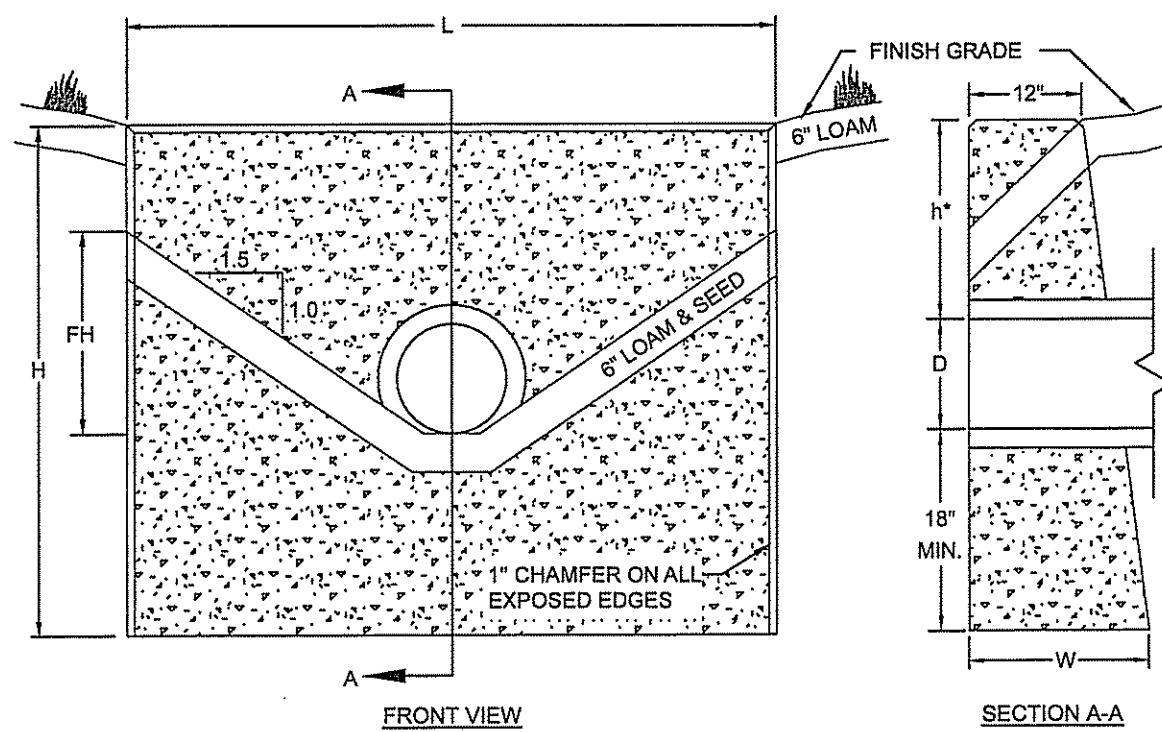


LOCATION	PIPE MATERIAL	MINIMUM COVER
PAVED ROADS	ALL	3 FT.
UNPAVED ROADS	ALL	2 FT.
DRIVEWAYS	ALL	1 FT.
UNPAVED AREAS	ALL	2 FT.

INSIDE DIAMETER	TOTAL WIDTH
12" TO 24" OVER 24"	I.D. + 24"
	2 x I.D.

DRAINAGE TRENCH (TYPICAL)

SCALE: N.T.S.
1
DT-3

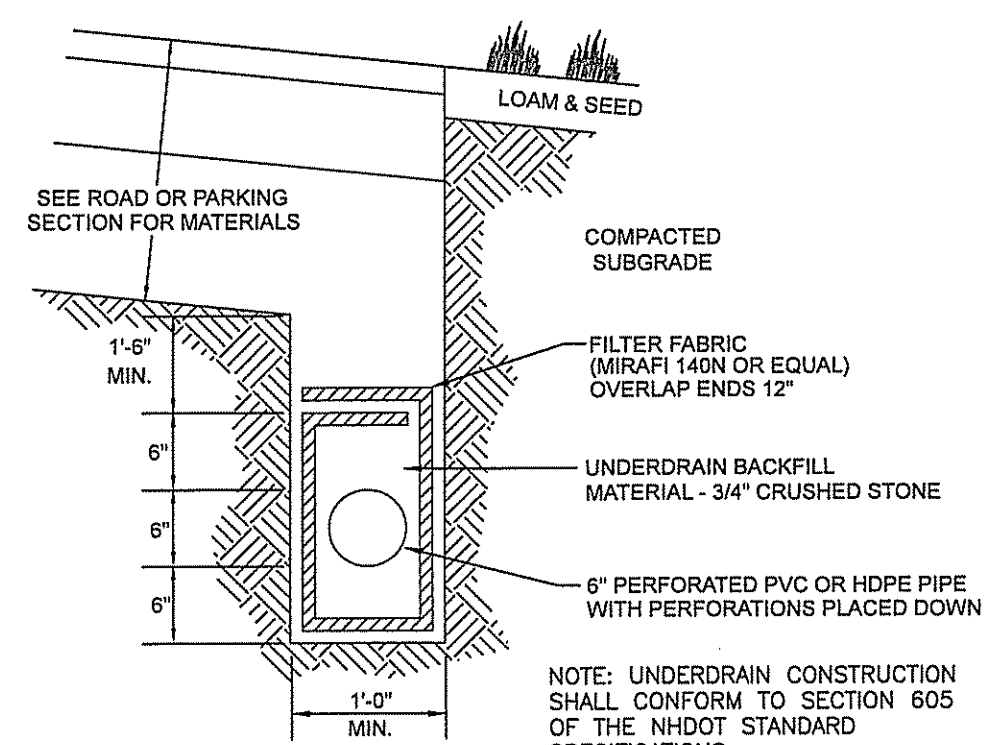


CULVERT DIAM. D	HEADWALL LENGTH L	HEADWALL HEIGHT H	FILL HEIGHT FH	TOP HEIGHT h	HEADWALL BOTTOM WIDTH W
12	4'-3"	3'-9"	1'-1"	1'-3"	1'-11.25"
15	6'-0"	4'-3"	1'-7"	1'-6"	2'-0.75"
18	7'-0"	4'-6"	1'-10"	1'-6"	2'-1.50"
24	9'-0"	5'-0"	2'-4"	1'-6"	2'-3.00"
30	11'-0"	5'-6"	2'-10"	1'-6"	2'-4.50"
36	13'-0"	6'-0"	3'-4"	1'-6"	2'-6.00"

HEADWALL SHALL BE STEEL REINFORCED AND CONFORM TO NHDOT STANDARD PLAN HW-2, LAST REVISED JUNE 16, 2010.

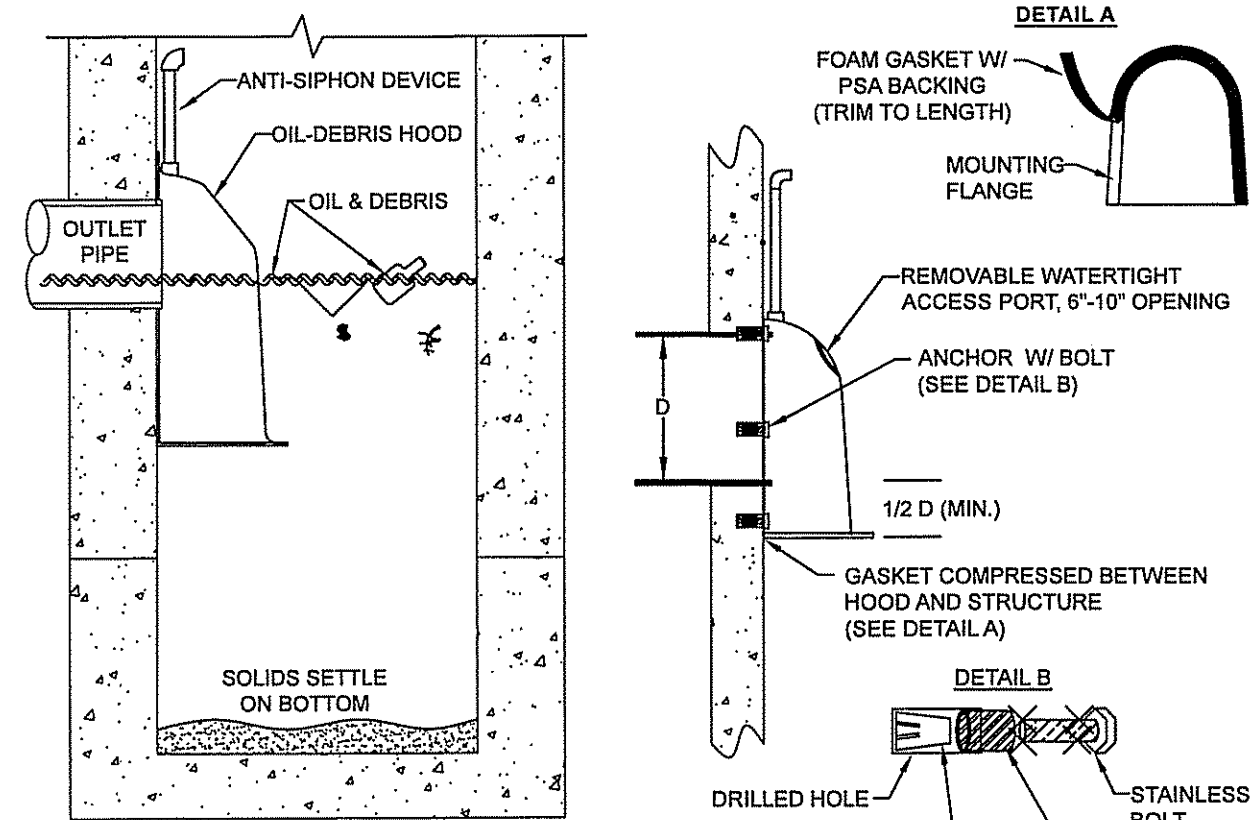
HEADWALL - PRECAST CONCRETE

SCALE: N.T.S.
2
DT-3



UNDERDRAIN DETAIL

3
DT-3



*SUMP DEPTH OF 36" MIN. FOR < OR = 12" DIA. OUTLET. FOR OUTLETS > OR = 15", DEPTH = 2.5-3X DIA.

STRUCTURE OUTLET HOLE SIZE	HOOD SIZE
11.9" O.D. OR LESS	12 F or R
12.0"-17.9" O.D.	18 F or R
18.0"-23.9" O.D.	24 F or R
24.0"-29.9" O.D.	30 F or R
30.0"-47.9" O.D.	48 F
48.0"-95.9" O.D.	96 F

INSTALLATION NOTE:
POSITION HOOD SUCH THAT BOTTOM FLANGE IS A DISTANCE OF 1/2 OUTLET PIPE DIAMETER (MIN.) BELOW THE PIPE INVERT. MINIMUM DISTANCE FOR PIPES < 12" I.D. IS 6".

HOODS TO BE INSTALLED ON THE FOLLOWING CATCH BASINS: CB102, CB212, CB305, CB309 & CB 404

F: FLAT WALL STRUCTURE
R: ROUND WALL STRUCTURE

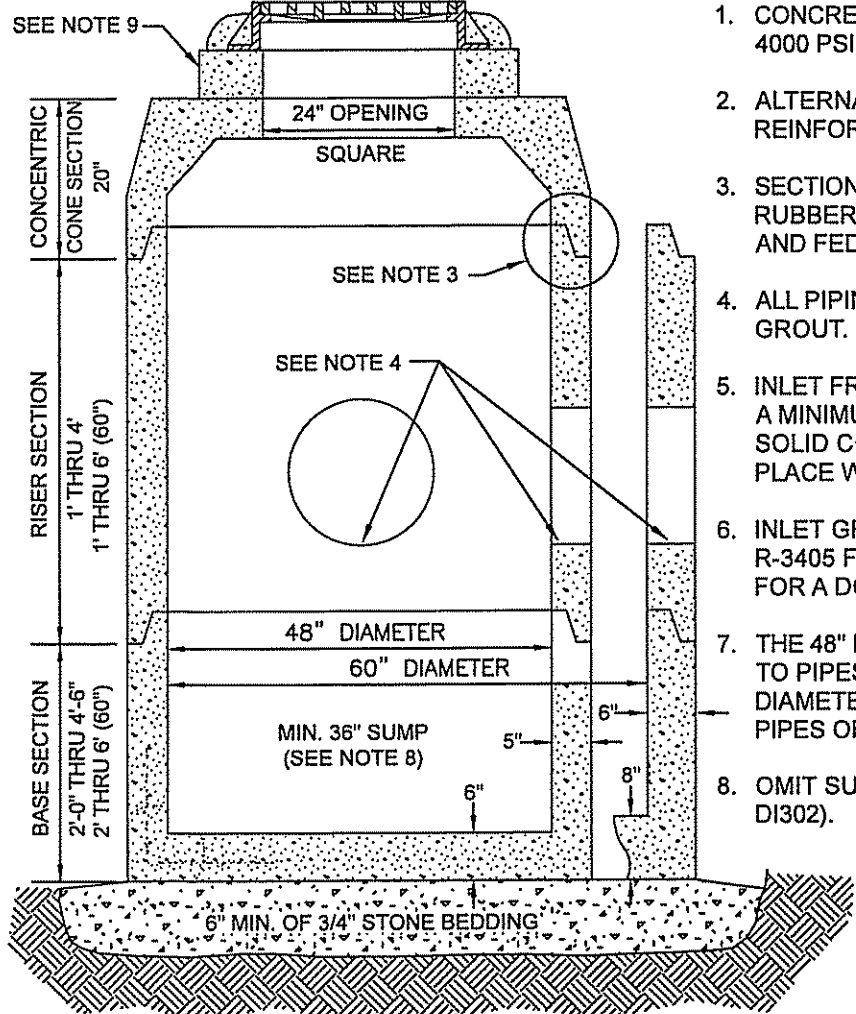
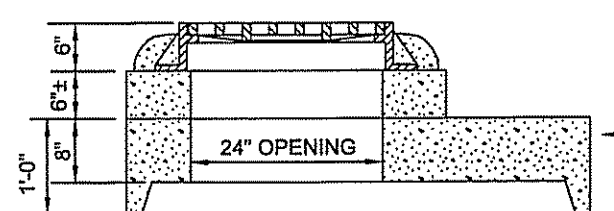
NOTES:

- ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL)
- THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
- THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES < 12" I.D.
- THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 12" ACCORDING TO STRUCTURE CONFIGURATION.
- THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL AND THE PIPE SHALL BE TRIMMED FLUSH TO WALL.
- THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL)
- ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY BEST MANAGEMENT PRODUCTS, INC., LYME, CT OR EQUAL.

OIL - DEBRIS HOOD

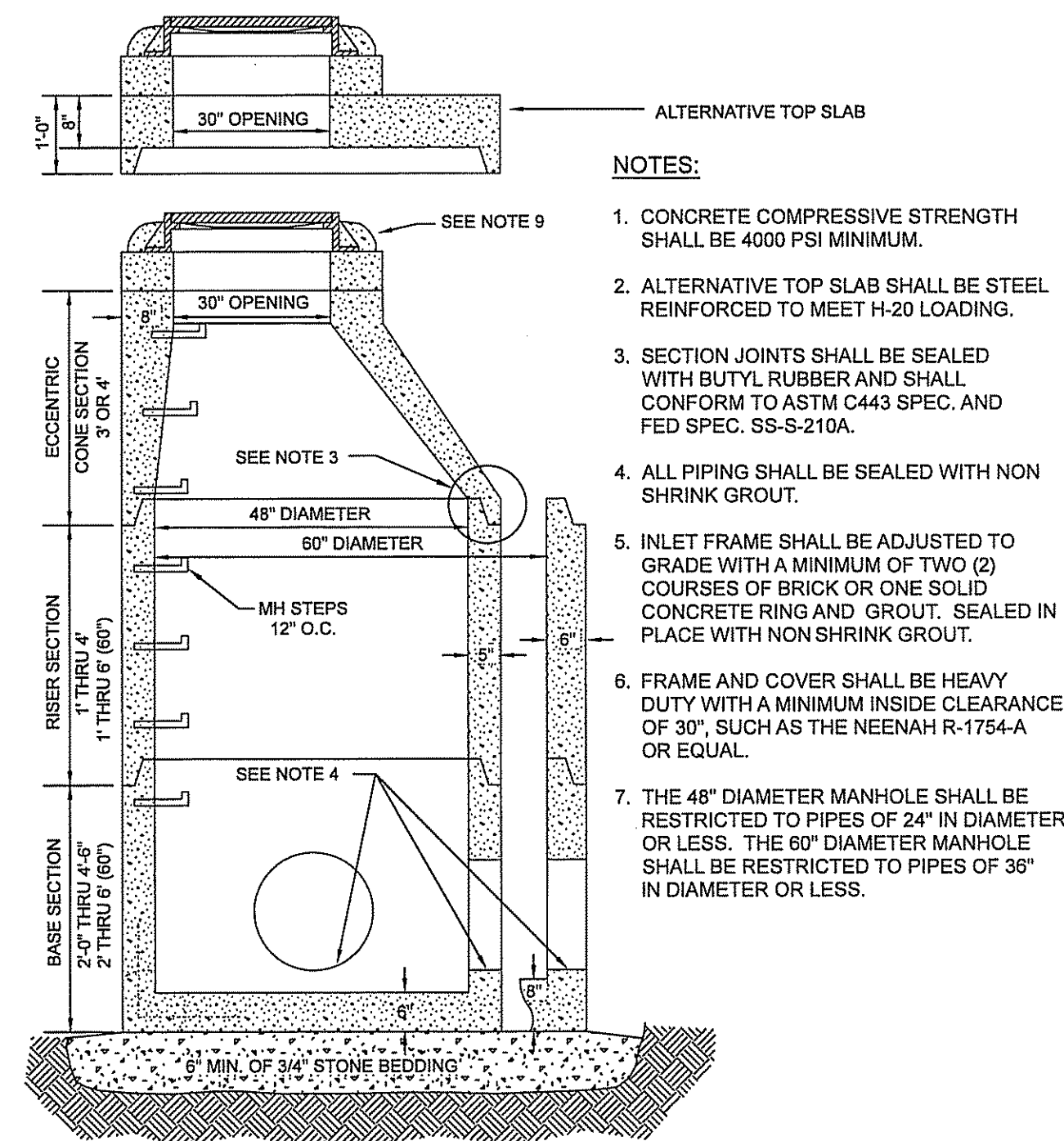
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DT-3

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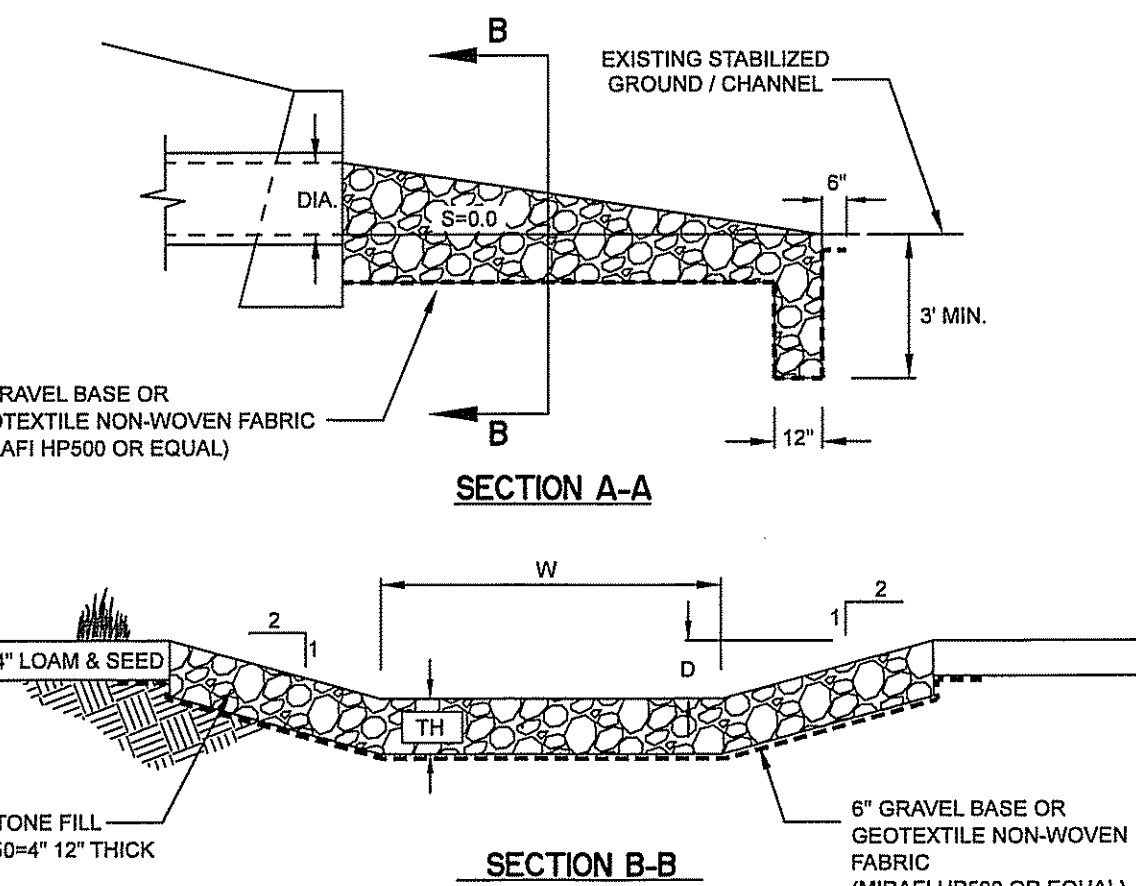
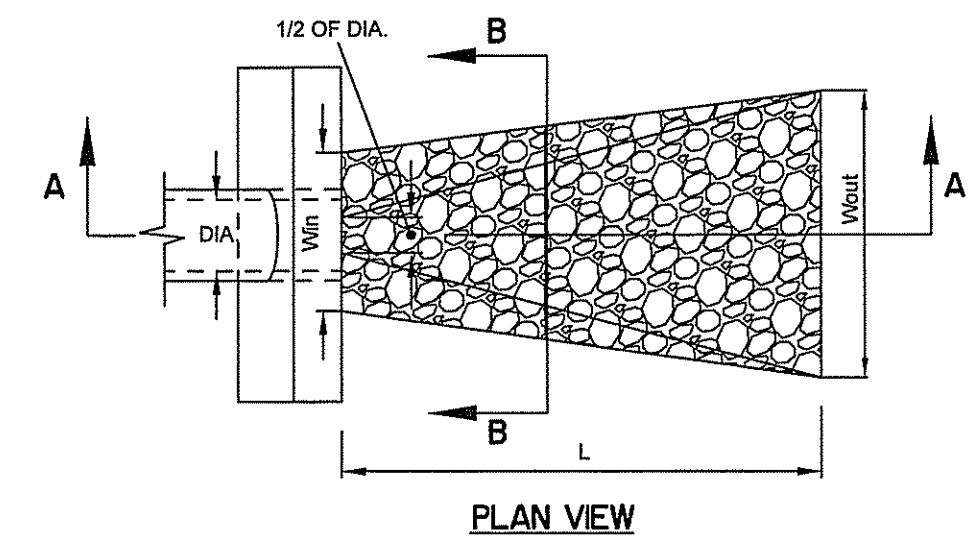
CATCH BASIN

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DT-3



MANHOLE - STORM DRAIN

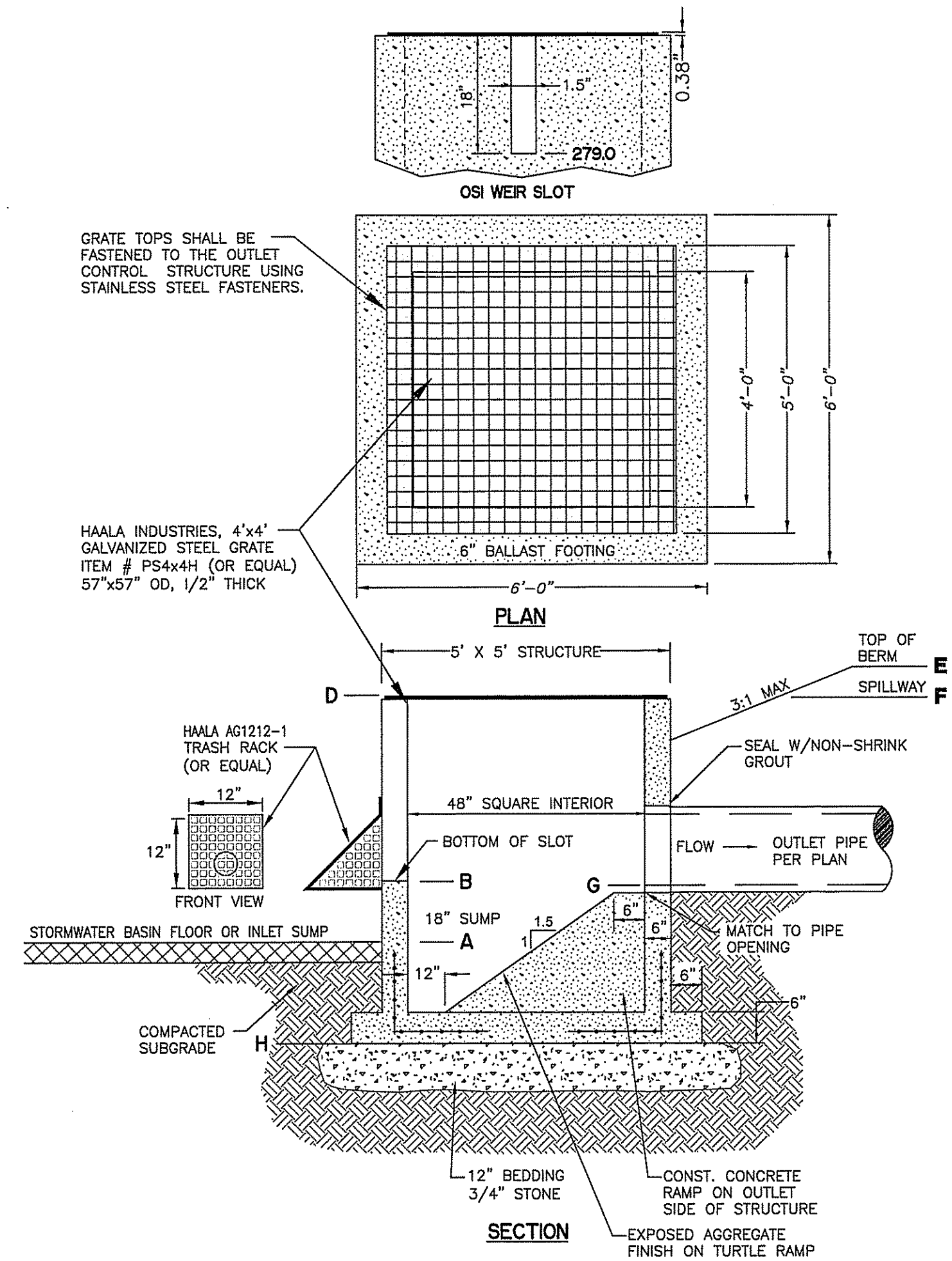
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DT-3



STRUCTURE LOCATION	Win	Wout	L	TH	d50
HW101	3 FT	6 FT	8 FT	12"	4"
HW201	5 FT	18 FT	15 FT	12"	4"
HW303	4 FT	15 FT	11 FT	12"	4"
HW304	4 FT	16 FT	12 FT	12"	4"
HW401	4 FT	16 FT	12 FT	12"	4"

RIP-RAP OUTLET PROTECTION

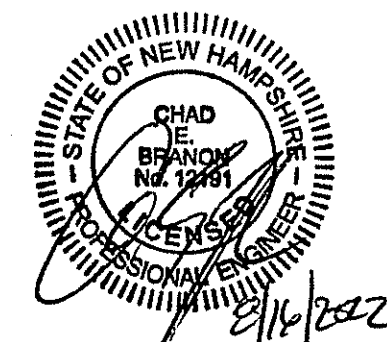
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DT-3



STORMWATER BASIN OUTLET STRUCTURE

SCALE: N.T.S.
8
DT-3

LOCATION	BASIN OUTLETS		ELEVATIONS (FT.)							
	STAGE 1	STAGE 2	A	B	C	D	E	F	G	H
OS1 (B201)	1.5" SLOT	N/A	276.0	279.0	N/A	280.5	282.0	281.0	273.7	273.7



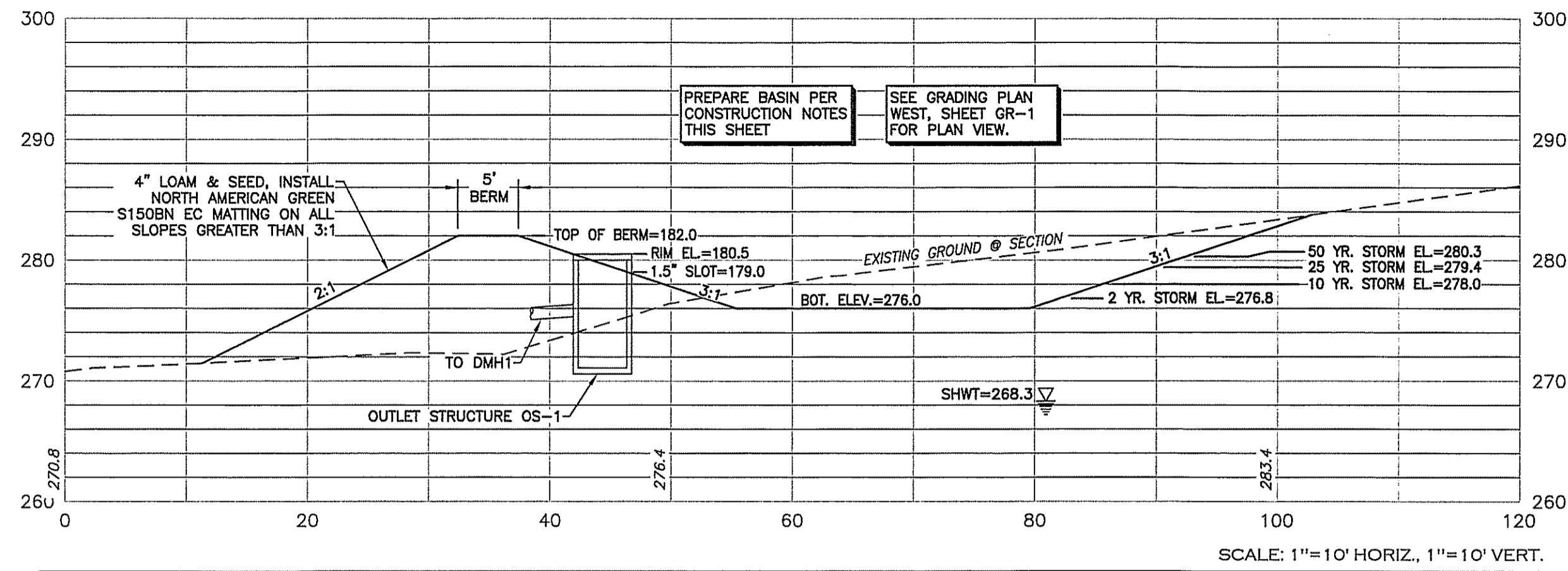
REV.	DATE	DESCRIPTION	C/O	DR	CK
A	6/27/22	PER PLANNING BOARD		DSL	NRC

DRAINAGE DETAILS
TODDY BROOK ESTATES
TAX MAP 41 LOTS 25, 28 & 44
(SILVER LAKE ROAD)
HOLLIS, NEW HAMPSHIRE
PREPARED FOR AND LAND OF:
TODDY BROOK INVESTMENTS, LLC
P.O. BOX 748, NASHUA, NH 03061-0748 (LOT 41-25)
AND LAND OF:
RAISANEN HOMES ELITE LLC
P.O. BOX 748, NASHUA, NH 03061-0748 (LOTS 41-28 & 41-44)

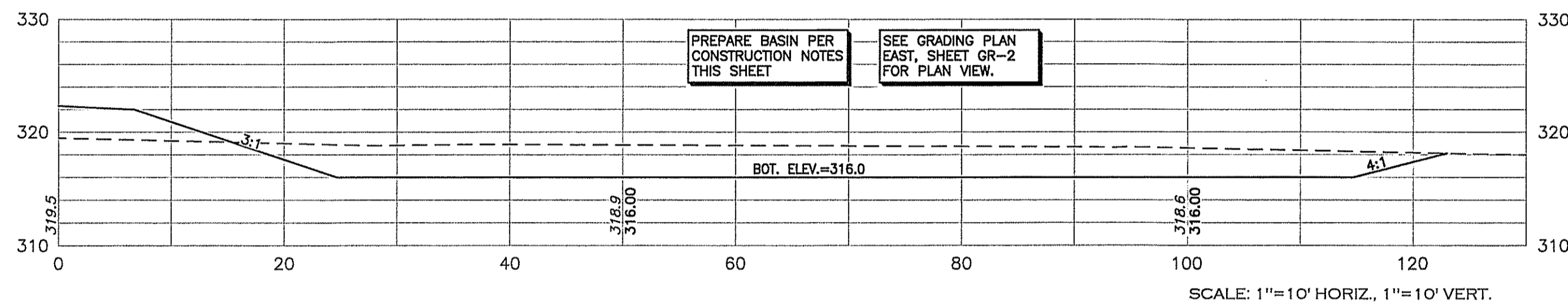
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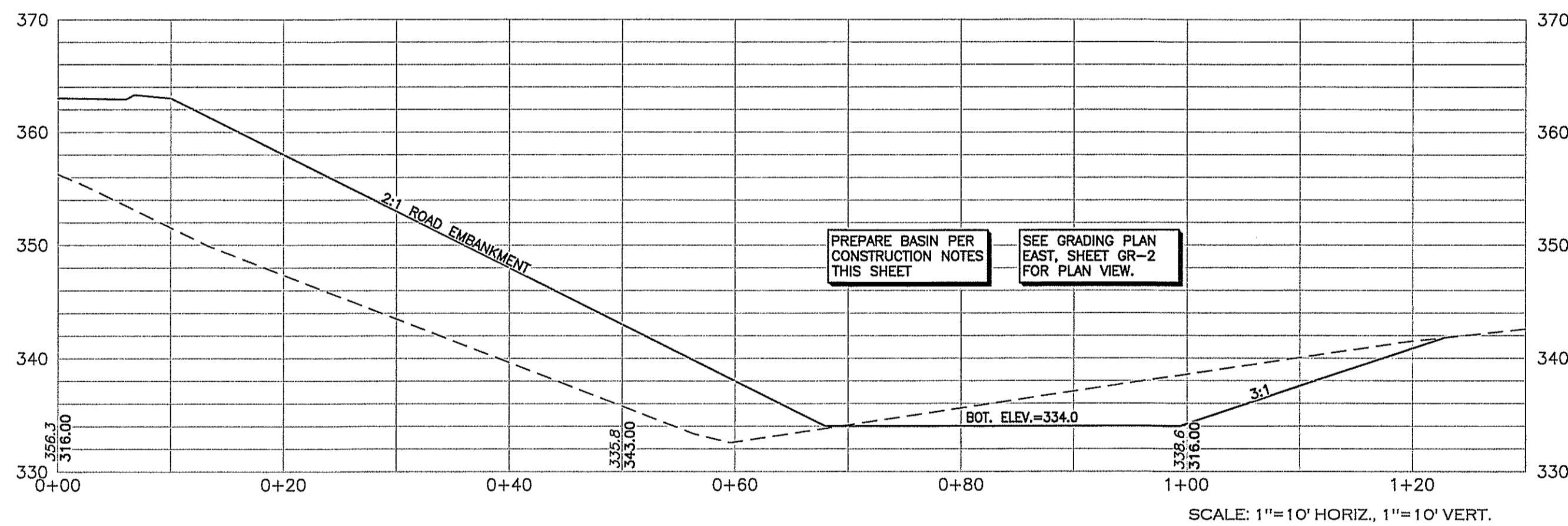
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SECTION A-A: INFILTRATION BASIN IB201 1
DT-4



SECTION C-C: INFILTRATION BASIN IB301 2
DT-4



SECTION D-D: INFILTRATION BASIN IB401 3
DT-4

- INFILTRATION BASIN CONSTRUCTION NOTES**
- REMOVE ALL ORGANIC MATERIAL FROM AREA BELOW PROPOSED INFILTRATION BASINS AND TO EXPOSE UNDERLYING SOILS.
 - CARE SHALL BE TAKEN TO PROTECT THE UNDERLYING SOILS FROM CONSTRUCTION TRAFFIC AND THE DISCHARGE OF SEDIMENT LADEN RUNOFF.
 - ONCE EXCAVATED AND PRIOR TO FILLING, THE UNDERLYING SOILS SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH LEVELING DRAG.
 - FILL BELOW THE BASIN AND/OR LEACHING TRENCHES SHALL CONFORM TO THE SPECIFICATIONS FOR NHDOT ITEM 209.1, "GRANULAR BACKFILL".
 - THE BASIN FLOOR OF THE INFILTRATION BASINS SHALL BE PREPARED AS SPECIFIED OR USING ONE OF THE FOLLOWING METHODS:
 - 6" LAYER OF COURSE SAND OR 3/8" PEA GRAVEL;
 - GRASS TURF WITH A HIGH INFILTRATION RATE (HIGH SAND CONTENT) THAT CAN BE INUNDATED FOR OVER 72 HOURS;
 - COARSE ORGANIC MATERIAL SUCH AS AN EROSION CONTROL MIX OR COMPOSTED MULCH THAT IS TILLED INTO THE SOIL, SOAKED, AND ALLOWED TO DRY.
 - DO NOT PLACE INFILTRATION BASINS/TRENCHES INTO SERVICE UNTIL ALL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

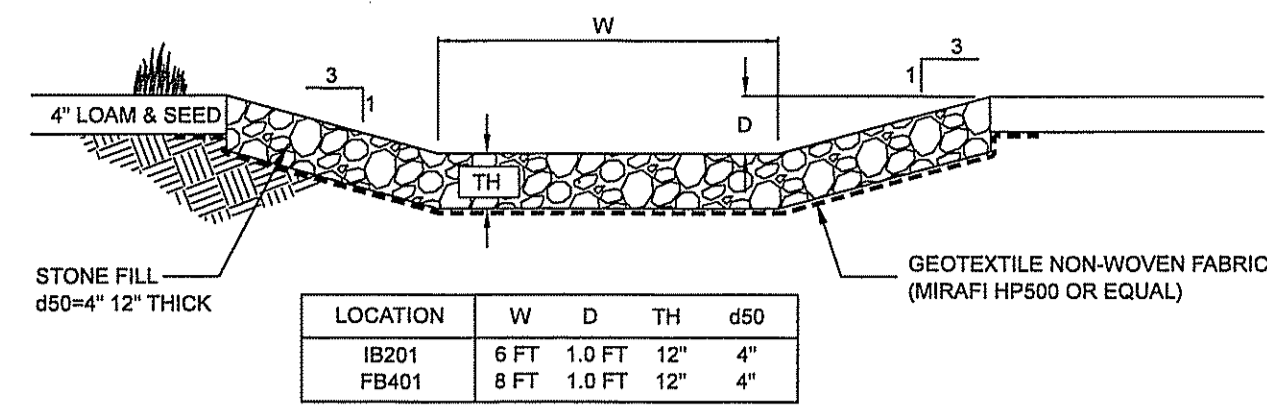
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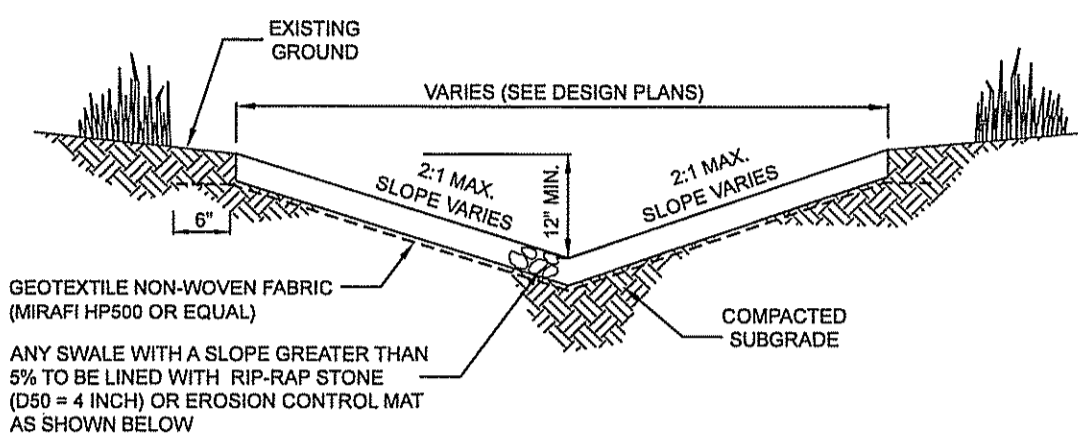
- STORMWATER MAINTENANCE NOTES**
- CATCH BASINS, PIPE INLETS, DRAINAGE BASINS AND SPILLWAYS SHALL BE INSPECTED AFTER EVERY MAJOR STORM FOR POLLUTANT BUILD-UP. POLLUTANTS CONSIST OF SEDIMENTS, DEBRIS AND/OR FLOATING HYDROCARBONS.
 - IN THE ABSENCE OF A MAJOR STORM, THE SYSTEM MUST BE CHECKED AT LEAST TWICE A YEAR, IN THE SPRING AND FALL FOR HYDROCARBON ACCUMULATION.
 - IF, UPON INSPECTION, A SIGNIFICANT AMOUNT OF POLLUTANTS HAVE ACCUMULATED IN ANY OF THE CATCH BASINS, THEN THE POLLUTANTS MUST BE REMOVED AND DISPOSED OF PROPERLY.
 - A SIGNIFICANT AMOUNT OF POLLUTANTS SHALL BE DEFINED AS A NOTICEABLE SHEEN ON THE WATER SURFACE IN THE SUMPS OF ANY CATCH BASINS AND/OR WHEN SEDIMENTS HAVE ACCUMULATED TO WITHIN 6 INCHES BELOW THE OUTLET OF ANY OF THE CATCH BASINS. WHEN EITHER OF THESE SITUATIONS ARE DISCOVERED UPON THE REQUIRED SEMIANNUAL INSPECTION, THEN THE STEPS STATED ABOVE SHALL BE COMPLETED.
 - THE DRAINAGE BASIN EMBANKMENTS SHOULD BE INSPECTED FOR RODENT BURROWS, BARE SPOTS, WET AREAS OR EROSION. ANY DEFICIENCIES SHALL BE CORRECTED TO PREVENT ADDITIONAL DAMAGE.
 - PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE ERODED AREA OF THE OUTLET.

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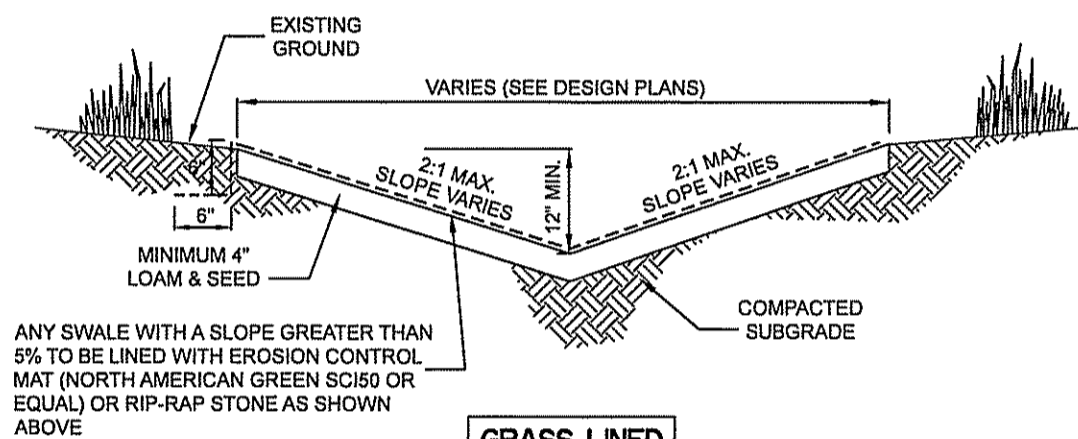
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RIP-RAP SPILLWAY DETAIL 6
DT-4



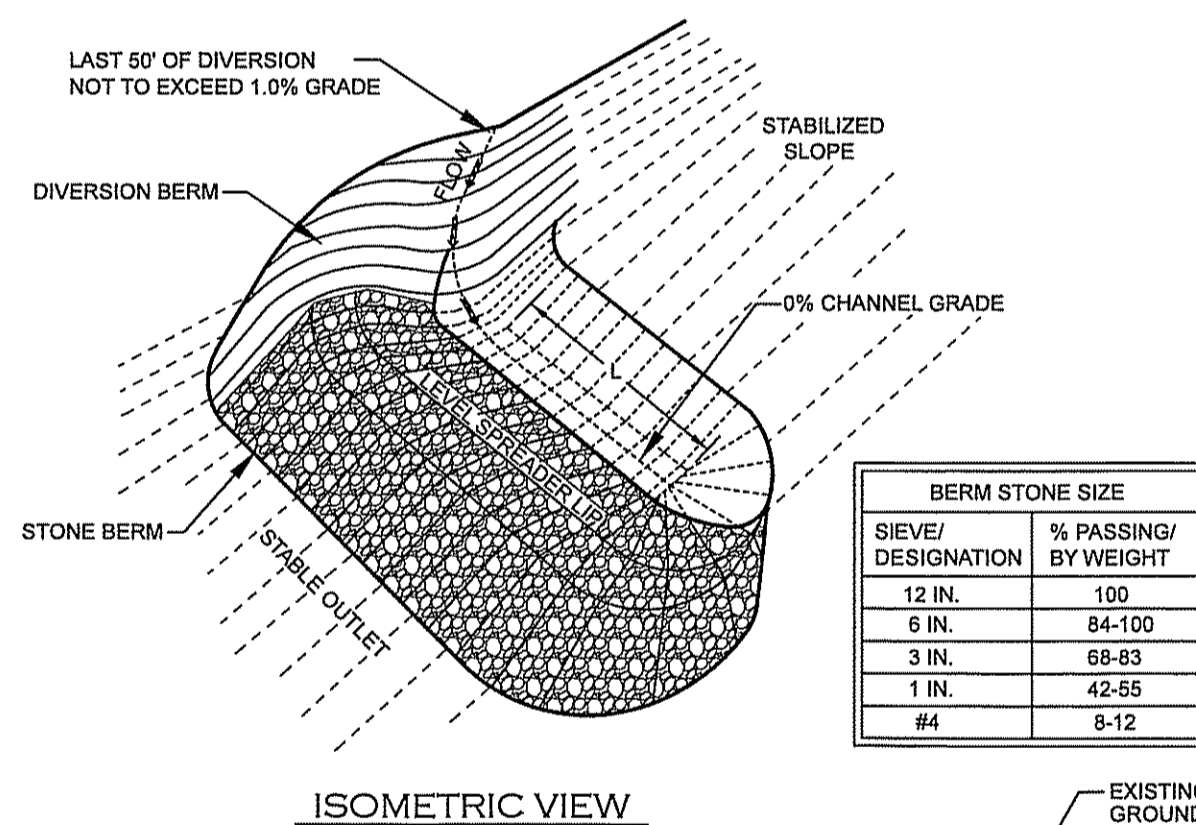
RIP-RAP LINED



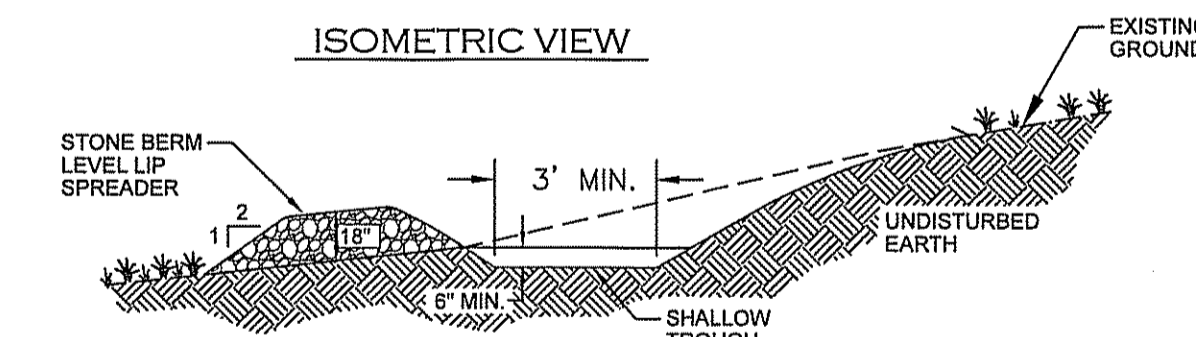
GRASS LINED

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TYPICAL SWALE DETAILS 7
DT-4



BERM STONE SIZE	
SIEVE/DESIGNATION	% PASSING/ BY WEIGHT
12 IN.	100
6 IN.	84-100
3 IN.	68-83
1 IN.	42-55
#4	8-12

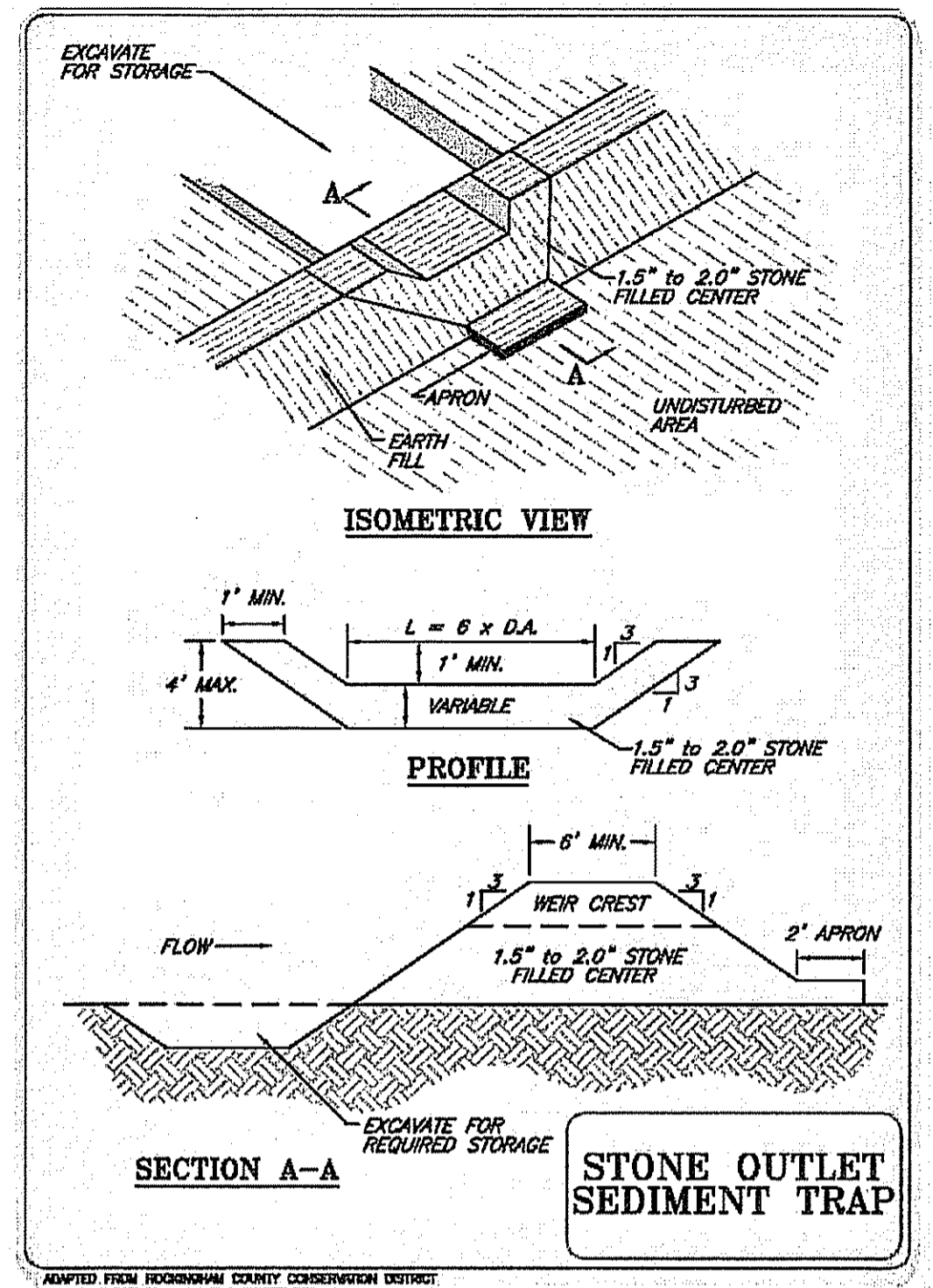


NOTES:

- CONSTRUCT THE LEVEL SPREADER LIP ON A ZERO PERCENT GRADE TO INSURE UNIFORM SPREADING OF RUNOFF.
- LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT FILL.
- THE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING A STONE BERM 1.5' H x 5' W ALONG THE ENTIRE LENGTH OF THE LIP.
- THE ENTRANCE CHANNEL TO THE LEVEL SPREADER SHALL NOT EXCEED A 1 PERCENT GRADE FOR AT LEAST 50 FEET BEFORE ENTERING INTO THE SPREADER.
- THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RECONCENTRATE IMMEDIATELY BELOW THE SPREADER.
- PERIODIC INSPECTION AND REQUIRED MAINTENANCE SHALL BE PERFORMED.

SCALE: N.T.S.

STONE BERM LEVEL SPREADER 8
DT-4



- THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE;
- THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP SHALL BE LESS THAN 5 ACRES;
- THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA;
- THE SIDE SLOPES OF THE TRAP SHALL BE 3:1 OR FLATTER, AND SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION;
- THE OUTLET OF THE TRAP SHALL BE A MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP AND SHALL DISCHARGE TO A STABILIZED AREA;
- THE TRAP SHALL BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED; AND
- THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.
- REFER TO THE NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3 FOR ALTERNATIVE SEDIMENT TRAP OPTIONS.

SCALE: N.T.S.

SEDIMENT TRAP 9
DT-4

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REV.	DATE	DESCRIPTION	C/O	DR	NRC	CK
A	6/27/22	PER PLANNING BOARD				

STORMWATER MANAGEMENT DETAILS
TODDY BROOK ESTATES
 TAX MAP 41 LOTS 25, 28 & 44
 (SILVER LAKE ROAD)
 HOLLIS, NEW HAMPSHIRE
 PREPARED FOR AND LAND OF:
TODDY BROOK INVESTMENTS, LLC
 P.O. BOX 748, NASHUA, NH 03061-0748 (LOT 41-25)
 AND LAND OF:
RAISANEN HOMES ELITE LLC
 P.O. BOX 748, NASHUA, NH 03061-0748 (LOTS 41-28 & 41-44)

SCALE: AS SHOWN JULY 23, 2021

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- PRIOR TO STARTING ANY WORK ON THE SITE THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES.
- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICE STORM WATER MANUALS, VOLUME 1-3, LATEST EDITION.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PER PLANS AND DETAILS. PERIMETER CONTROLS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTH DISTURBING ACTIVITIES.
- INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INLET PROTECTION BMP'S SHALL REMAIN UNTIL THE SITE IS STABILIZED. CONSTRUCTION OF DETENTION BASINS AND TREATMENT SWALES SHALL OCCUR PRIOR TO AND EARTH MOVING OPERATION THAT WILL INFLUENCE STORM WATER RUNOFF.
- THE WORK AREA SHALL BE GRADED, SHAPED AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA.
- EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEN POSSIBLE.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.25-INCH OR GREATER RAINFALL. SEDIMENTS SHALL BE DISPOSED OF IN AN UPLAND AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND BE PERMANENTLY STABILIZED.
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. AT NO TIME SHALL THE TOTAL UNSTABILIZED DISTURBED AREA, INCLUDING LOT DISTURBANCES, BE GREATER THAN FIVE (5) ACRES.
- THE LAND AREA EXPOSED SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. ALL NON-ACTIVE DISTURBED AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF THE DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
- DITCHES, SWALES AND DRAINAGE BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- IN AREAS THAT WILL NOT BE PAVED, "STABLE" MEANS THAT:
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN INSTALLED IN ACCORDANCE WITH Env-Wq 1506.03
 IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, ITEM 304.2, HAVE BEEN INSTALLED.

- EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3:1 (HORIZONTAL VERTICAL), UNLESS OTHERWISE SPECIFIED THE CONTRACTOR SHALL USE NORTH AMERICAN GREEN S150BN, OR APPROVED EQUAL.
- ALL AREAS RECEIVING EROSION CONTROL STONE OR RIPRAP SHALL HAVE A GEOTEXTILE MATERIAL INSTALLED BELOW THE STONE (SEE APPROPRIATE DETAILS).
- ALL DISTURBED AREAS TO TURF FINISHED SHALL BE COVERED WITH A MINIMUM THICKNESS OF 6 INCHES OF COMPACTED LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW:

PERMANENT SEED (LAWN AREAS)	LBS / 1,000 SQ. FT.	PERMANENT SLOPE SEED MIX	LBS / 1,000 SQ. FT.
CREeping RED FESCUE	0.92 LBS	CREeping RED FESCUE	0.80 LBS
PERENNIAL RYEGRASS	1.15 LBS	PERENNIAL RYEGRASS	0.89 LBS
KENTUCKY BLUEGRASS	0.98 LBS	REEDTOP	0.12 LBS
REEDTOP	0.12 LBS	ALSIKE CLOVER	0.12 LBS
		BIRDFOOT TREFLOIL	0.12 LBS

 **APPLICATION RATE TOTALS
 2.8 LBS PER 1,000 SF** **APPLICATION RATE TOTALS
 1.85 LBS PER 1,000 SF**

- TEMPORARY STABILIZATION OF DISTURBED AREAS: STRIPPED SOIL SHALL BE STOCKPILED UNCOMPACTED, AND STABILIZED AGAINST EROSION AS OUTLINED BELOW. SEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS. PER 100 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 90 LBS PER 1,000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.

A. SEED MIXTURE: USE ANY OF THE FOLLOWING:

SPECIES	RATE PER 1,000 SF	DEPTH	SEEDING DATES
WINTER RYE	2.5 LBS	1 INCH	8/15 TO 9/15
OATS	2.5 LBS	1 INCH	4/15 TO 10/15
ANNUAL RYEGRASS	1.0 LBS	0.25 INCH	8/15 TO 9/15

B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODIBLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:

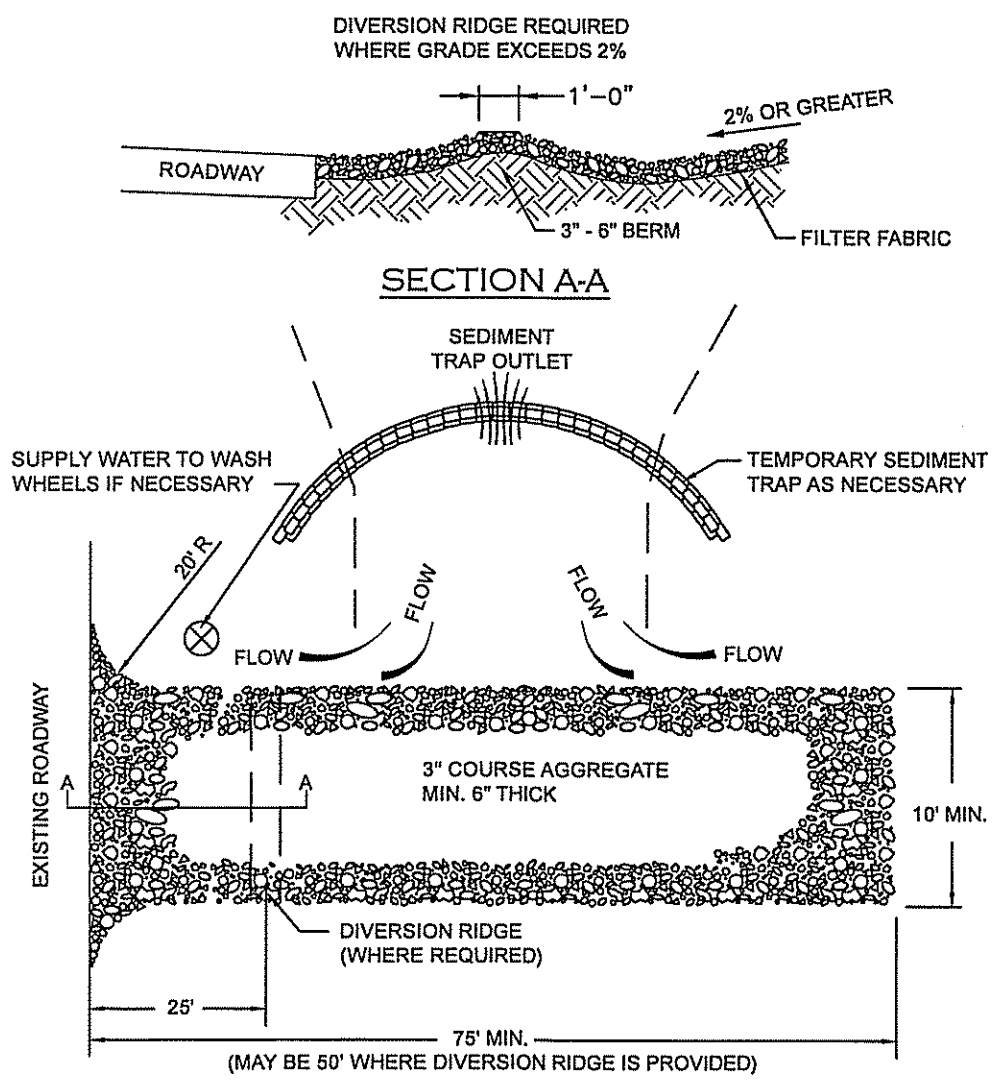
TYPE	RATE PER 1,000 SF	USE AND COMMENTS
STRAW	70 TO 90 LBS	MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE
WOOD CHIPS OR BARK MULCH	460 TO 820 LBS	USED WITH TREE AND SHRUB PLANTINGS
FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE
CRUSHED STONE	SPREAD TO GREATER THAN 1/2" THICKNESS	USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED

- APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE (CRITICAL TIME FRAMES OR VARIABLE SITES) THEN APPLY FERTILIZER AT A RATE OF 11 POUNDS PER 1,000 SF AND LIMESTONE AT A RATE OF 90 POUNDS PER 1,000 SF. FERTILIZER SHALL BE LOW PHOSPHATE (LESS THAN 2% PHOSPHORUS).
- CAUTION SHOULD BE TAKEN WHEN THE PROPERTY IS LOCATED WITHIN 250 FEET OF A WATER BODY. IN THIS CASE ALL FERTILIZERS SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER. SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT. NO FERTILIZER EXCEPT LIMESTONE SHALL BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE ARE REGULATED LIMITATIONS.
- PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS (SEE WINTER CONSTRUCTION NOTES). NO DISTURBED AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
- A VIGOROUS DUST CONTROL PROGRAM SHALL BE APPLIED BY THE SITE CONTRACTOR. DUST SHALL BE MANAGED THROUGH THE USE OF WATER AND/OR CALCIUM CHLORIDE.
- IN NO WAY ARE THE MEASURES INDICATED ON THE PLANS OR IN THESE NOTES TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT TO INSTALL ADDITIONAL EROSION CONTROL MEASURES AS SITE CONDITIONS, WEATHER OR CONSTRUCTION METHODS WARRANT.
- FOLLOWING PERMANENT STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND ACCUMULATED SEDIMENTATION IS TO BE DISPOSED OF IN AN APPROVED LOCATION, OUTSIDE OF JURISDICTIONAL WETLANDS.
- LOT DISTURBANCE OTHER THAN SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.
- THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 430:53 AND AGR 3800 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

EROSION CONTROL NOTES	1	DT-5
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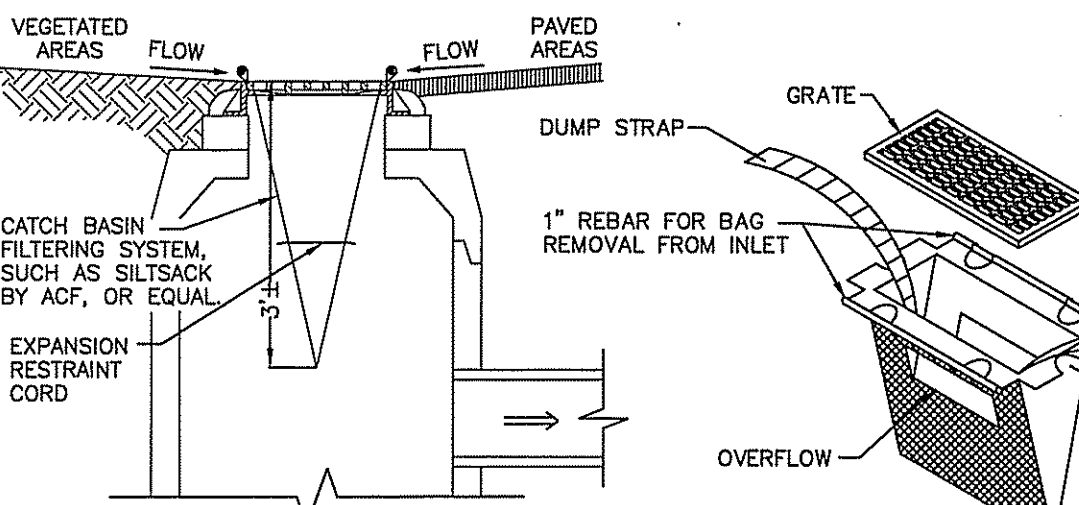
- ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED. STABILIZATION METHODS SHALL INCLUDE SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING AREAS WHERE ACTIVE CONSTRUCTION OF THE ROAD OR PARKING AREA HAS STOPPED FOR THE WINTER SEASON SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES LAYER OF BASE COURSE GRAVELS MEETING THE GRADATION REQUIREMENTS NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, ITEM NO. 301.1, 304.2, OR 304.3.

WINTER CONSTRUCTION NOTES	2	DT-5
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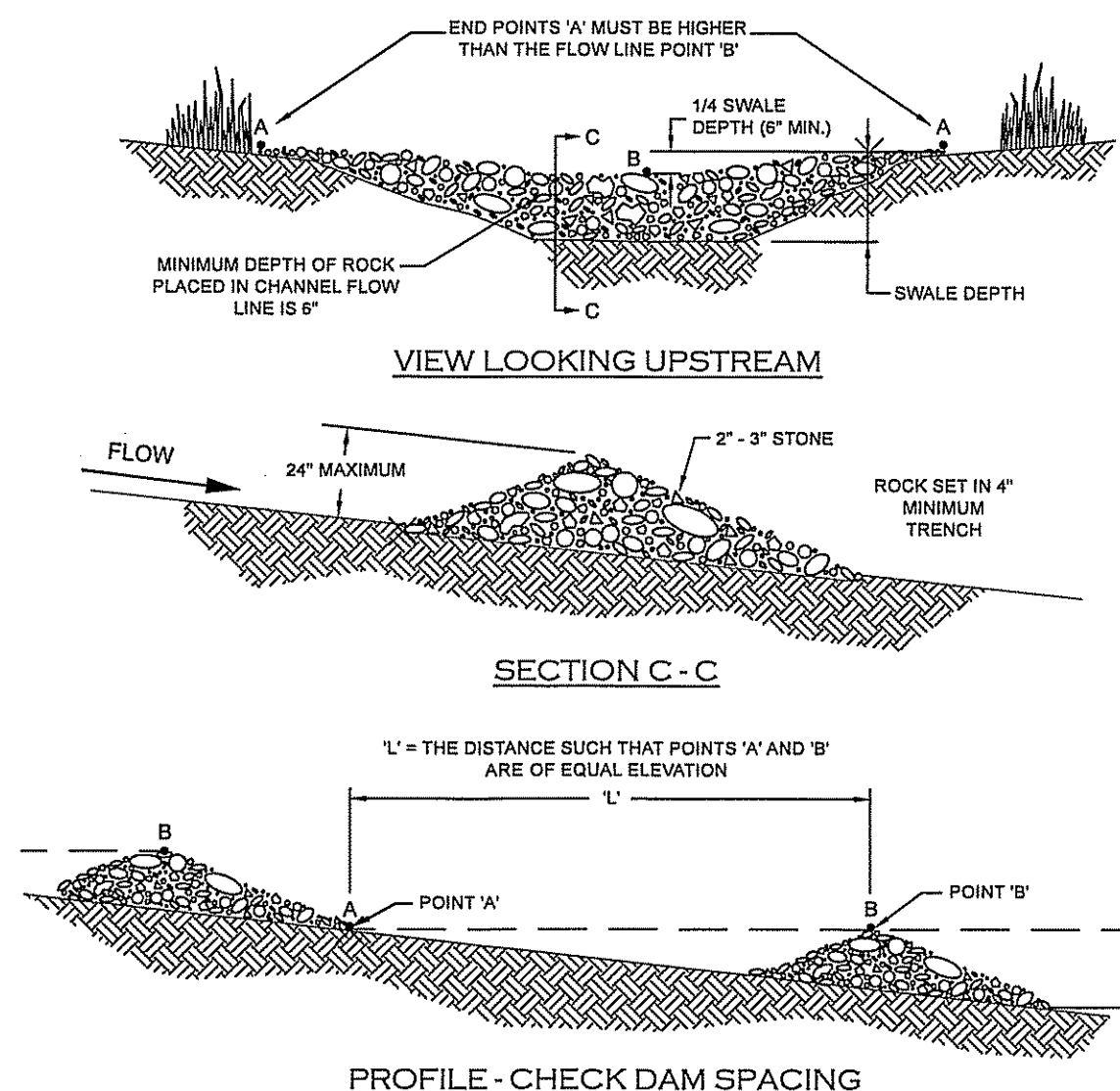
- NOTES:
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
 - THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.
 - THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
 - THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
 - THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
 - THE PAD SHOULD BE AT LEAST 6-INCHES THICK.
 - THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
 - THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
 - NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

GRAVEL CONSTRUCTION EXIT	3	DT-3
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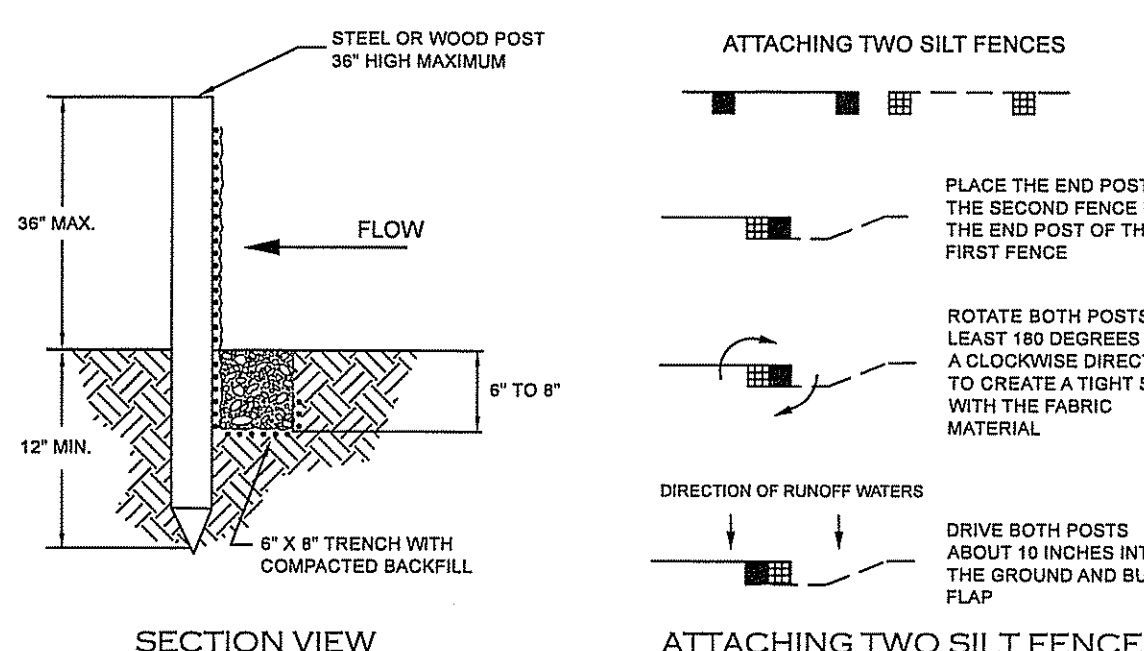
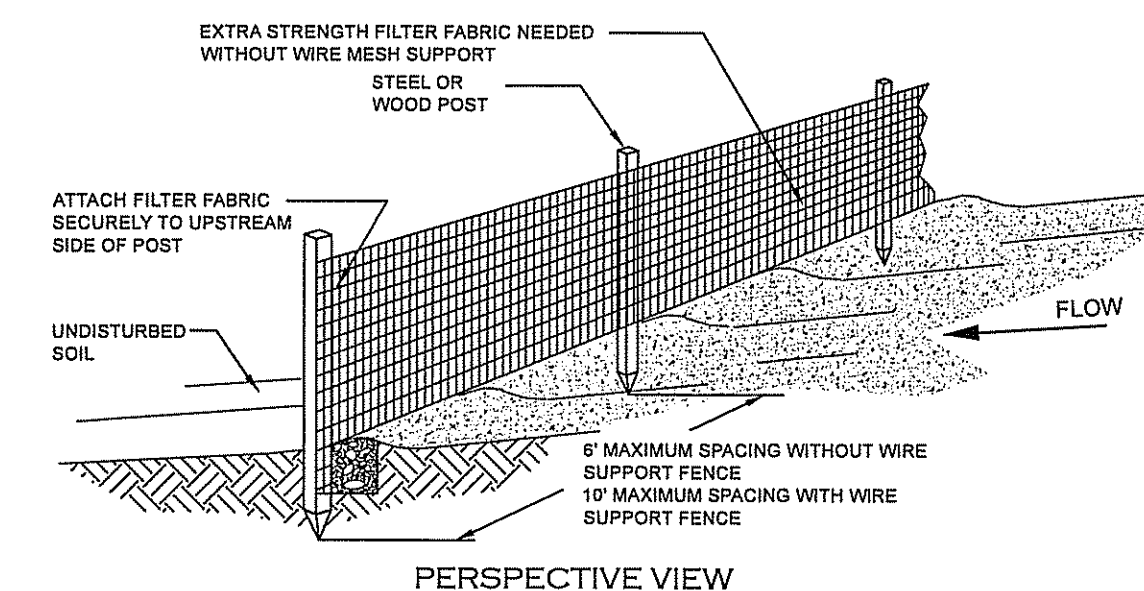
- NOTES:
- INSTALL AND MAINTAIN SACKS IN ALL CATCH BASINS.
 - TO INSTALL SACK, REMOVE CATCH BASIN GRATE AND PLACE SACK IN OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME FOR THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
 - THE SACK SHOULD BE INSPECTED AFTER EVERY STORM, OR ONCE EVERY TWO WEEKS, WHICH EVER OCCURS FIRST.
 - THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SACK SHOULD BE EMPTIED. EMPTY THE SACK AWAY FROM THE CATCH BASIN TO PREVENT SEDIMENT FROM RE-ENTERING THE CATCH BASIN. EMPTY THE SACK PER THE MANUFACTURERS RECOMMENDATIONS.
 - REPLACE THE SACK IN THE CATCH BASIN AFTER THE SACK HAS BEEN EMPTIED, ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED BY PAVING OR A HEALTHY VEGETATIVE COVER, REMOVE THE SACK FROM THE CATCH BASINS.

SILT SACK SEDIMENT FILTER	4	DT-5
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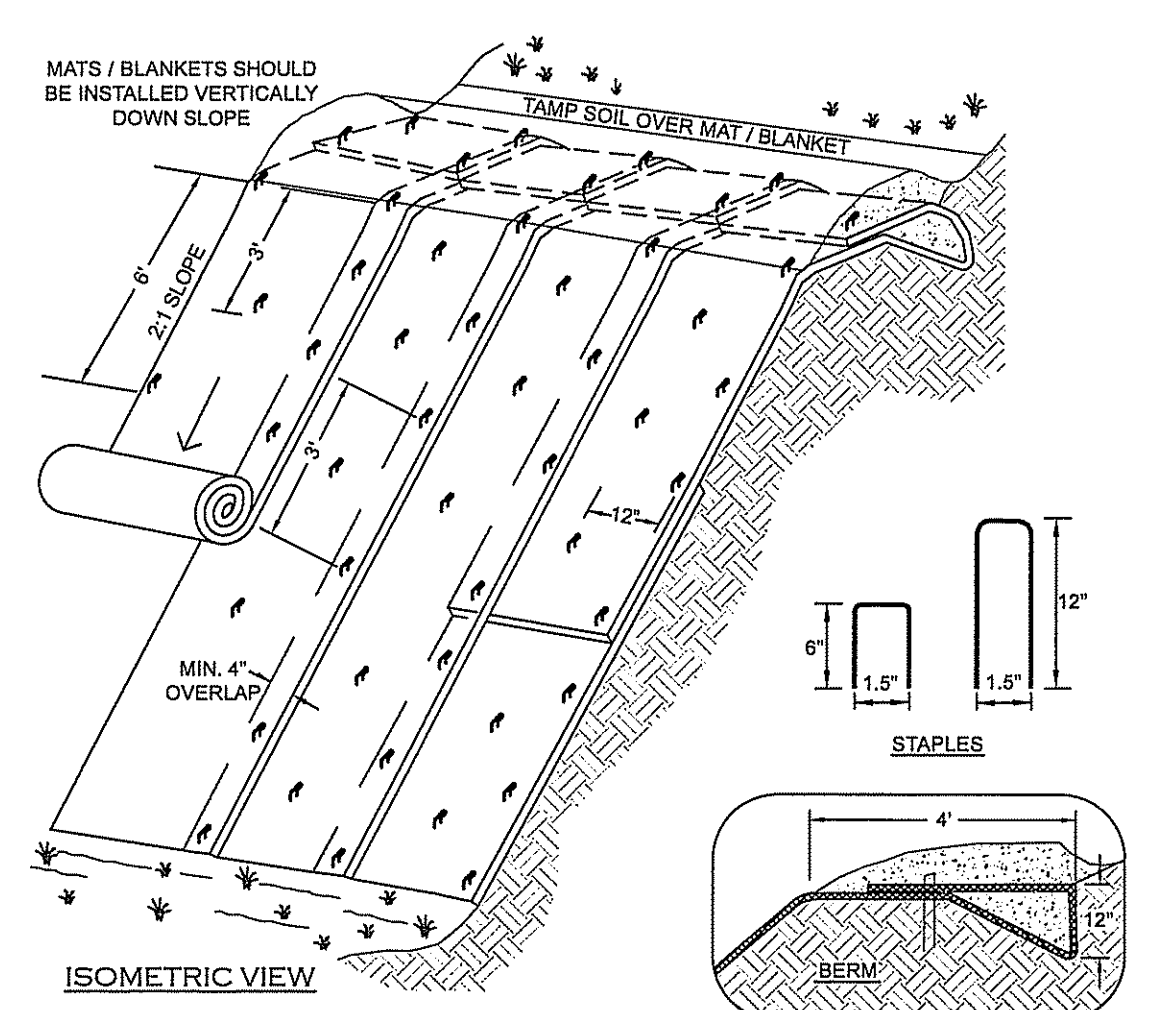
- NOTES:
- STONE CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE CHECK DAM SHOULD BE LESS THAN ONE ACRE. STONE CHECK DAMS SHOULD NOT BE USED IN A FLOWING STREAM. STONE CHECK DAMS SHOULD BE CONSTRUCTED OF WELL-GRADED ANGULAR 2 TO 3 INCH STONE. THE INSTALLATION OF 3/4-INCH STONE ON THE UPGRADEMENT FACE IS RECOMMENDED FOR BETTER FILTERING. WHEN INSTALLING STONE CHECK DAMS THE CONTRACTOR SHALL KEY THE STONE INTO THE CHANNEL BANKS AND EXTEND THE STONE BEYOND THE ABUTMENTS A MINIMUM OF 18-INCHES TO PREVENT FLOW AROUND THE DAM. STONE CHECK DAMS SHOULD BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED UNLESS OTHERWISE SPECIFIED.

STONE CHECK DAM	5	DT-5
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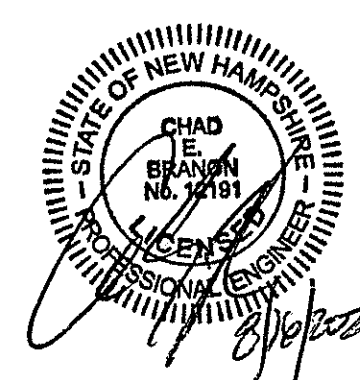
- NOTES:
- SILT FENCES SHOULD NOT BE USED ACROSS STREAMS, CHANNELS, SWALES, DITCHES OR OTHER DRAINAGE WAYS.
 - SILT FENCE SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE AND THE ENDS OF THE SILT FENCE SHOULD BE FLARED UPSLOPE.
 - IF THE SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE OR THE PRESENCE OF HEAVY ROOTS THE BASE OF THE FABRIC SHOULD BE EMBEDDED WITH A MINIMUM THICKNESS OF 8 INCHES OF 3/4-INCH STONE.
 - SILT FENCES PLACED AT THE TOE OF SLOPES SHOULD BE INSTALLED AT LEAST 6 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW PONDING AND ACCESS FOR MAINTENANCE.
 - THE MAXIMUM SLOPE ABOVE THE FENCE SHOULD BE 2:1 AND THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHOULD BE 100 FEET.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - SILT FENCES SHOULD BE REMOVED WHEN THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

SILT FENCE	6	DT-5
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- NOTES:
- DIMENSIONS GIVEN IN THIS DETAIL ARE EXAMPLES: DEVICE SHOULD BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - INSTALL STRAW/COCONUT FIBER EROSION CONTROL MAT SUCH AS NORTH AMERICAN GREEN S150BN OR EQUAL ON ALL SLOPES EXCEEDING 3' HORIZ : 1' VERT.
 - THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1 INCH AND LENGTH OF 6 INCH.
 - SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS / BLANKETS SHALL HAVE GOOD SOIL CONTACT.
 - APPLY LIME, FERTILIZER AND PERMANENT SEEDING BEFORE PLACING BLANKETS.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET AS SHOWN. ROLL THE BLANKETS DOWN THE SLOPE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURERS STAPLE GUIDE FOR CORRECT STAPLE PATTERN.
 - LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
 - IN LOOSE SOIL CONDITIONS THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 6 INCHES MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
 - THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE REFERTILIZED, RESEEDED AND REMULCHED AS DIRECTED.

EROSION BLANKETS - SLOPE INSTALLATION	7	DT-5
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A	6/27/22				

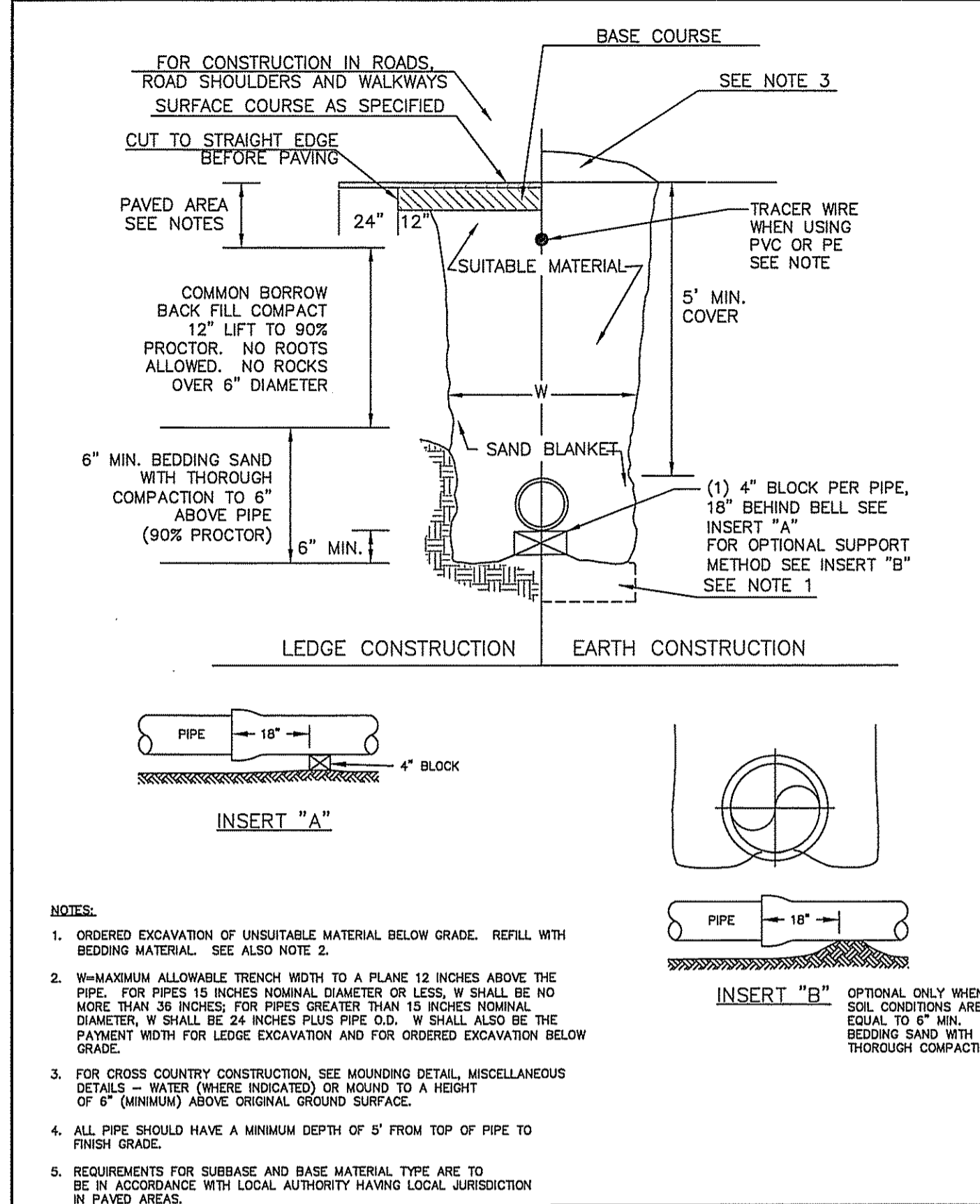
EROSION CONTROL DETAILS
TODDY BROOK ESTATES
 TAX MAP 41 LOTS 25, 28 & 44
 (SILVER LAKE ROAD)
 HOLLIS, NEW HAMPSHIRE
 PREPARED FOR AND LAND OF:
TODDY BROOK INVESTMENTS, LLC
 P.O. BOX 748, NASHUA, NH 03061-0748 (LOT 41-25)
 AND LAND OF:
RAISANEN HOMES ELITE LLC
 P.O. BOX 748, NASHUA, NH 03061-0748 (LOTS 41-28 & 41-44)
 SCALE: NOT TO SCALE JULY 23, 2021

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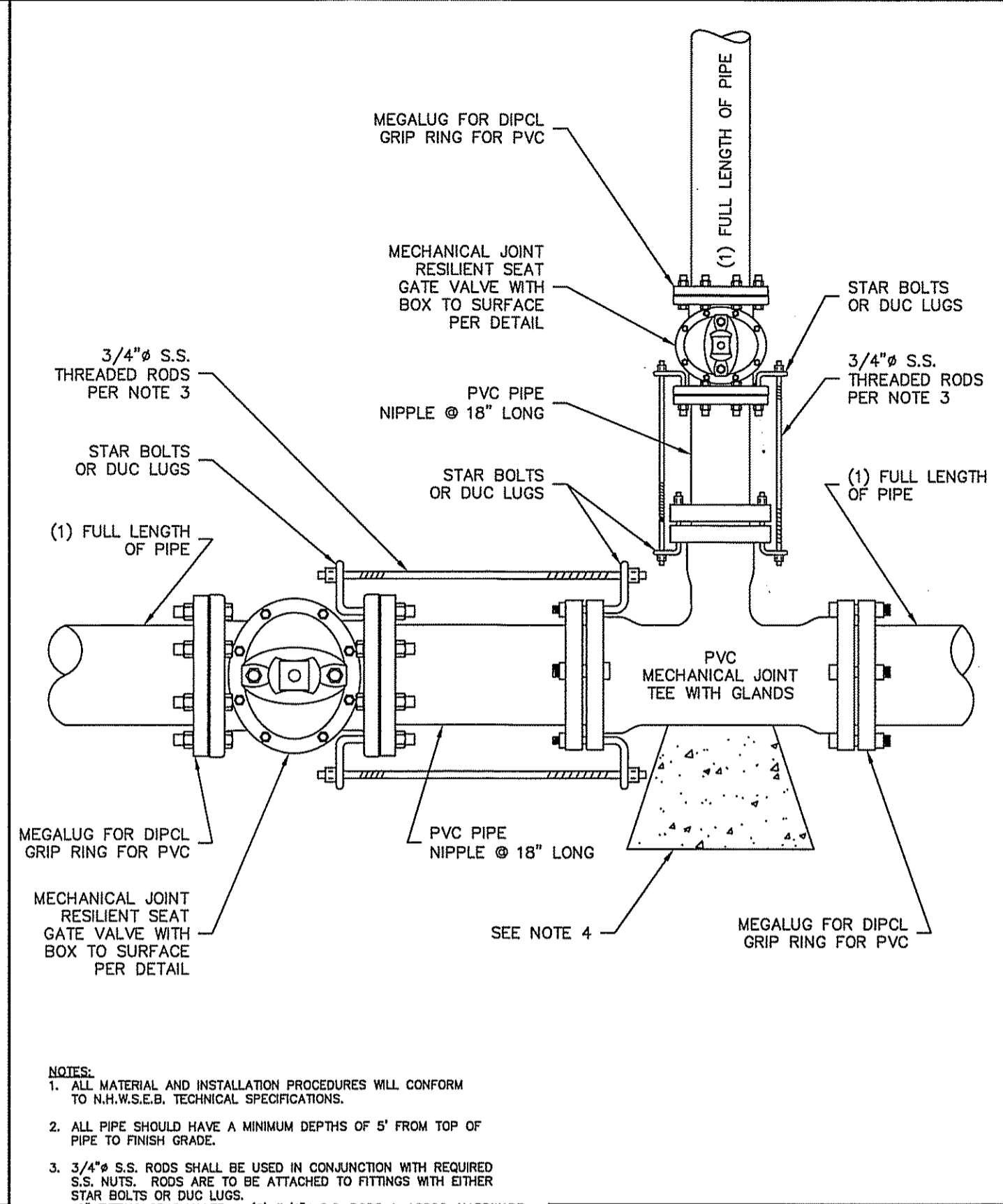
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TYPICAL TRENCH DETAIL
SCALE: NTS



TYPICAL TEE INSTALLATION
SCALE: NTS

BEARING AREA REQUIRED, SQUARE FEET

TYPE OF BEARING MATERIAL AND ALLOWABLE LOADS, pfs	4" AND LESS DEGREE BEND				6" AND 8" DEGREE BEND				10" AND 12" DEGREE BEND			
	11 1/4	22 1/2	45	90	11 1/4	22 1/2	45	90	11 1/4	22 1/2	45	90
LOOSE SAND OR MEDIUM CLAY - 2,000	1.0	2.0	2.7	4.0	1.5	3.0	6.0	10.0	3.0	6.2	12.0	22.0
PACKED GRAVEL AND SAND - 4,000	1.0	1.0	1.5	2.0	1.0	1.5	3.0	5.0	1.5	3.1	6.0	11.0
ROCK - 10,000	1.0	1.0	1.0	1.0	1.0	1.0	1.2	2.0	1.0	1.3	2.4	4.4

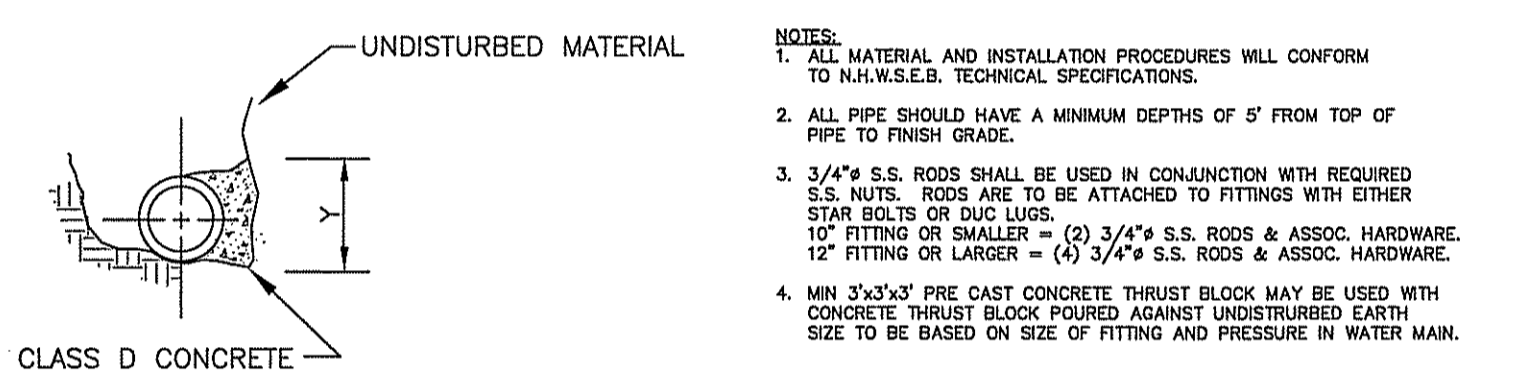
BEARING AREA REQUIRED, SQUARE FEET

TYPE OF BEARING MATERIAL AND ALLOWABLE LOADS, pfs	14" AND 16" DEGREE BEND OR DEFLECTION				18" AND 20" DEGREE BEND OR DEFLECTION			
	11 1/4	22 1/2	45	90	11 1/4	22 1/2	45	90
LOOSE SAND OR MEDIUM CLAY - 2,000	6.0	12.0	22.5	40.0	9.5	19.0	37.0	67.0
PACKED GRAVEL AND SAND - 4,000	3.0	6.0	11.3	20.0	4.8	9.5	18.5	33.5
ROCK - 10,000	1.2	2.4	4.5	8.0	2.0	3.8	7.4	13.5

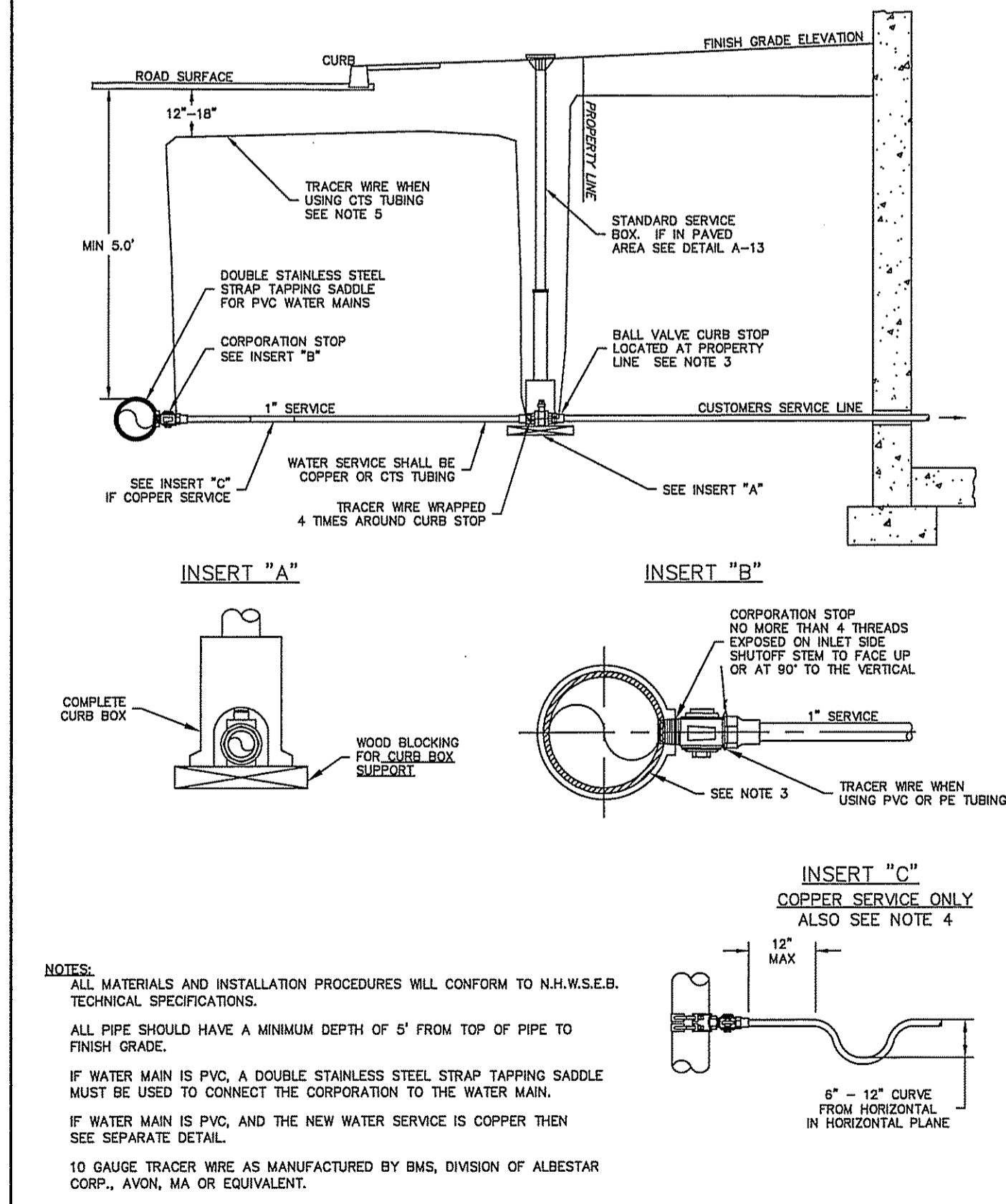
NOTE: THRUST BLOCKING FOR TEES SHALL HAVE THE SAME BEARING AREA AS 90° BEND OF THE PIPE SIZE OF THE OUTLET. DEAD ENDS SHALL HAVE THE SAME BEARING AREA AS 90° BENDS.

TABLE OF DIMENSIONS

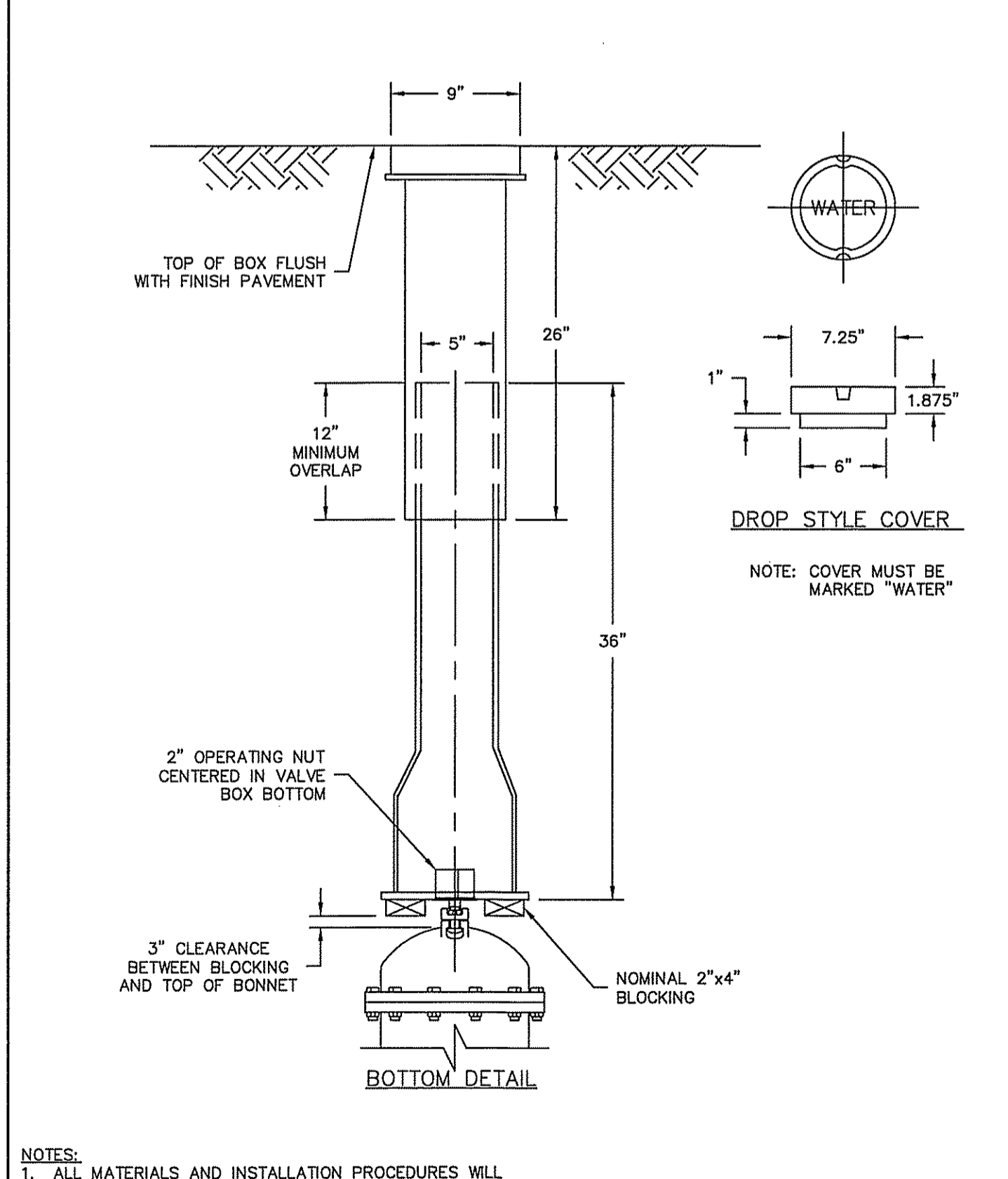
PIPE SIZE	90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND		TEE & PLUG	
	X	Y	X	Y	X	Y	X	Y	X	Y
6"	33"	21"	18"	21"	12"	18"	9"	12"	21"	24"
8"	45"	27"	24"	27"	18"	21"	12"	15"	27"	33"
10"	60"	36"	36"	36"	24"	30"	18"	21"	36"	42"
12"	66"	39"	38"	42"	24"	30"	18"	21"	39"	45"
14"	72"	45"	42"	48"	27"	36"	18"	27"	45"	54"



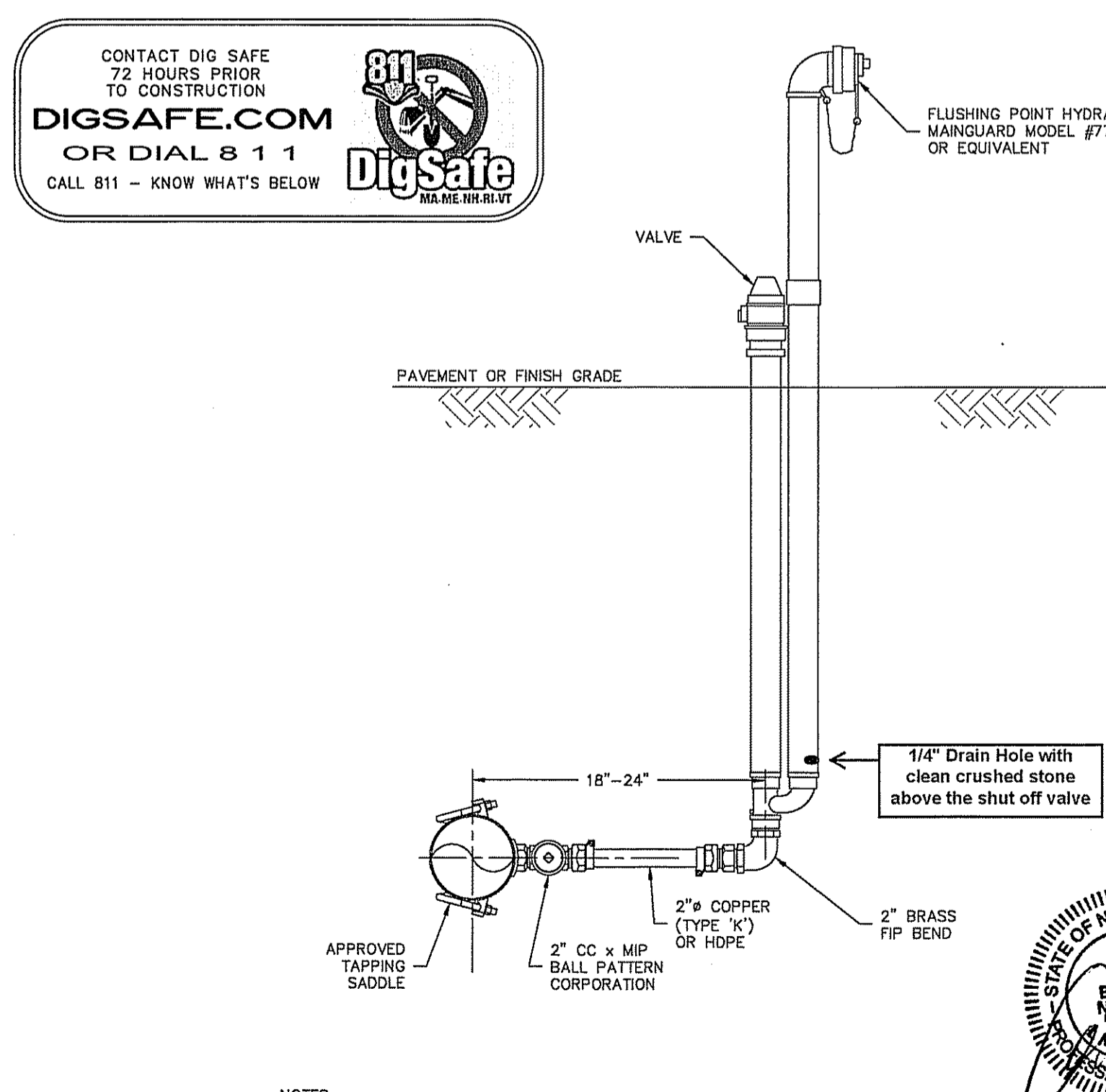
TYPICAL THRUST BLOCK BEHIND FITTINGS INSTALLATION
SCALE: NTS



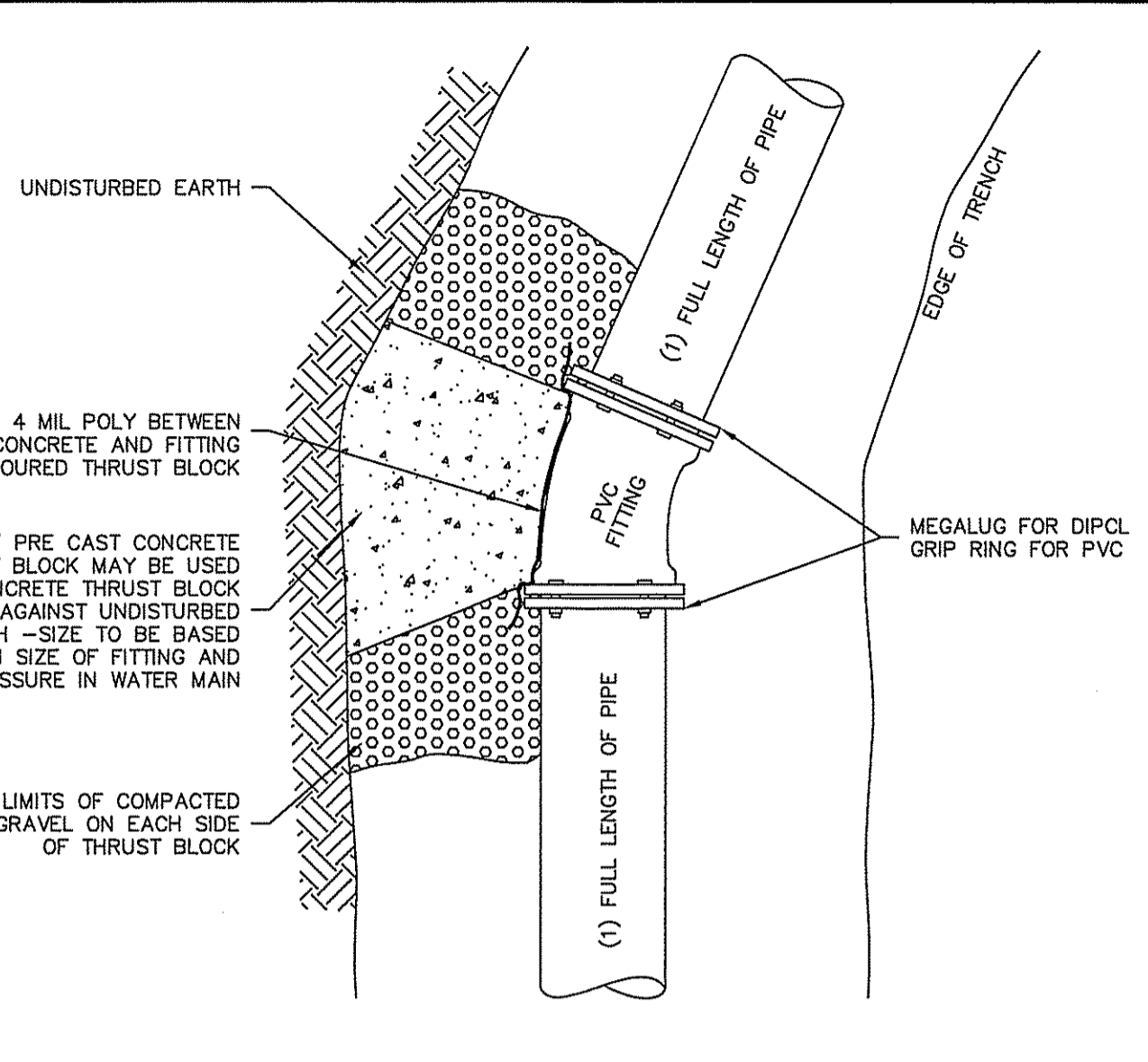
TYPICAL 1" SERVICE AND VALVE BOX INSTALLATION
SCALE: NTS



TYPICAL VALVE BOX DETAIL
SCALE: NTS



TYPICAL DISTRIBUTION FLUSHING HYDRANT
SCALE: NTS



WATER DISTRIBUTION SYSTEM NOTES:

- ALL DISTRIBUTION MATERIAL INCLUDING MAINS, FITTINGS, AND VALVES TO MEET APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA), NH DRINKING WATER AND GROUNDWATER BUREAU (NHDWGB), AND TOWN OF HOLLIS STANDARDS.
- ALL INSTALLATION OF MATERIAL TO CONFORM TO APPLICABLE AWWA STANDARDS AND NHDWGB SPECIFICATIONS FOR GENERALLY ACCEPTED DRINKING WATER SUPPLY SYSTEMS.
- ALL VALVES, TEES, BENDS, AND THEIR RELATED JOINTS TO BE PROPERLY RESTRAINED USING APPROVED "MEGA-LUG", OR EQUAL, RETAINER KITS FOR AWWA C-900 PVC WATER MAIN.
- ALL WATER MAIN AND APPURTENANCES TO BE MANUFACTURED IN ACCORDANCE WITH CURRENT AWWA STANDARDS BEING AWWA C-900, MINIMUM 150 PSI PVC WATER MAIN, PIPE SIZING SHALL BE 4" MAINS AS SHOWN ON PLANS APPROVED BY THE NHDWGB AND THE TOWN. ALL WATER MAIN AND SERVICE LINES TO BE INSTALLED WITH A MINIMUM OF 60" COVER, AND SHALL BE PROPERLY SAND BEDDED AND BACKFILLED WITH SUITABLE MATERIAL.
- GATE VALVES SHALL BE INSTALLED AT LOCATIONS SHOWN ON THE UTILITY PLANS. ALL VALVES SHALL BE AWWA C-509 APPROVED RESILIENT WEDGE, OPEN LEFT (COUNTER CLOCKWISE) VALVES. VALVE BOXES SHALL BE AWWA APPROVED, SLIP TYPE WITH COVER LABELED WATER.
- THE FLUSHING POINT SHALL BE 2" FLUSHING HYDRANT AND SHALL BE INSTALLED AS SHOWN ON THE PROJECT PLANS. DOMESTIC WATER SERVICES SHALL BE 1" DIAMETER, CTS, 200 PSI, AWWA C-901 POLYETHYLENE TUBING, WITH BRASS COMPRESSION SERVICE FITTINGS WITH SS INSERTS, BALL VALVE SHUT OFFS, AND ADJUSTABLE TYPE CURB BOXES. CORPORATION STOPS SHALL BE INSTALLED IN SERVICE SADDLES APPROVED FOR PVC WATER MAINS. EACH UNIT SHALL HAVE ITS OWN WATER SERVICE AND SHUT OFF.
- SEPARATION OF WATER MAINS AND SEWER SHALL BE IN ACCORDANCE WITH ACCEPTED WATER WORKS STANDARDS. ON PARALLEL INSTALLATION, WATER MAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY DISTANT FROM ANY EXISTING OR PROPOSED SEWER. IF LESS THAN TEN FEET, WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH, OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER WITH AT LEAST THREE FEET HORIZONTAL SEPARATION. AT CROSSINGS, THERE SHALL BE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE WATER MAIN AND SEWER. AT CROSSINGS, JOINTS SHALL BE LOCATED AS FAR FROM THE SEWER CROSSING POINT AS POSSIBLE.
- ALL WATER MAIN TO BE FLUSHED, PRESSURE TESTED, AND DISINFECTED, IN ACCORDANCE WITH THE LATEST PROVISIONS OF AWWA C-600 AND C-651, PRIOR TO ACCEPTANCE. WRITTEN CERTIFICATION OF TESTING AND BACTERIOLOGICAL TEST RESULTS SHALL BE PROVIDED FROM A THIRD-PARTY TESTING COMPANY.
- A RECORD DRAWING OF THE SUBDIVISION WATER FACILITIES SHALL BE PROVIDED FOLLOWING INSTALLATION, IN ACCORDANCE WITH NHDWGB AND TOWN OF HOLLIS STANDARDS.

REV.	DATE	DESCRIPTION	C/O	DR	CK
A	6/27/22	PER PLANNING BOARD	-	DSL	NRC

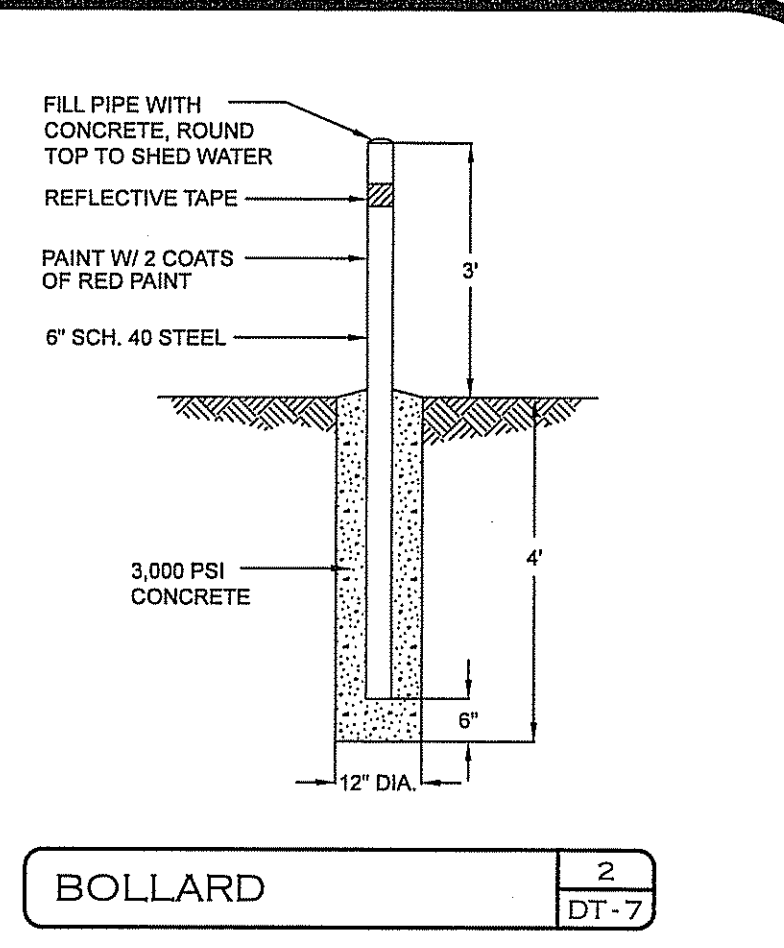
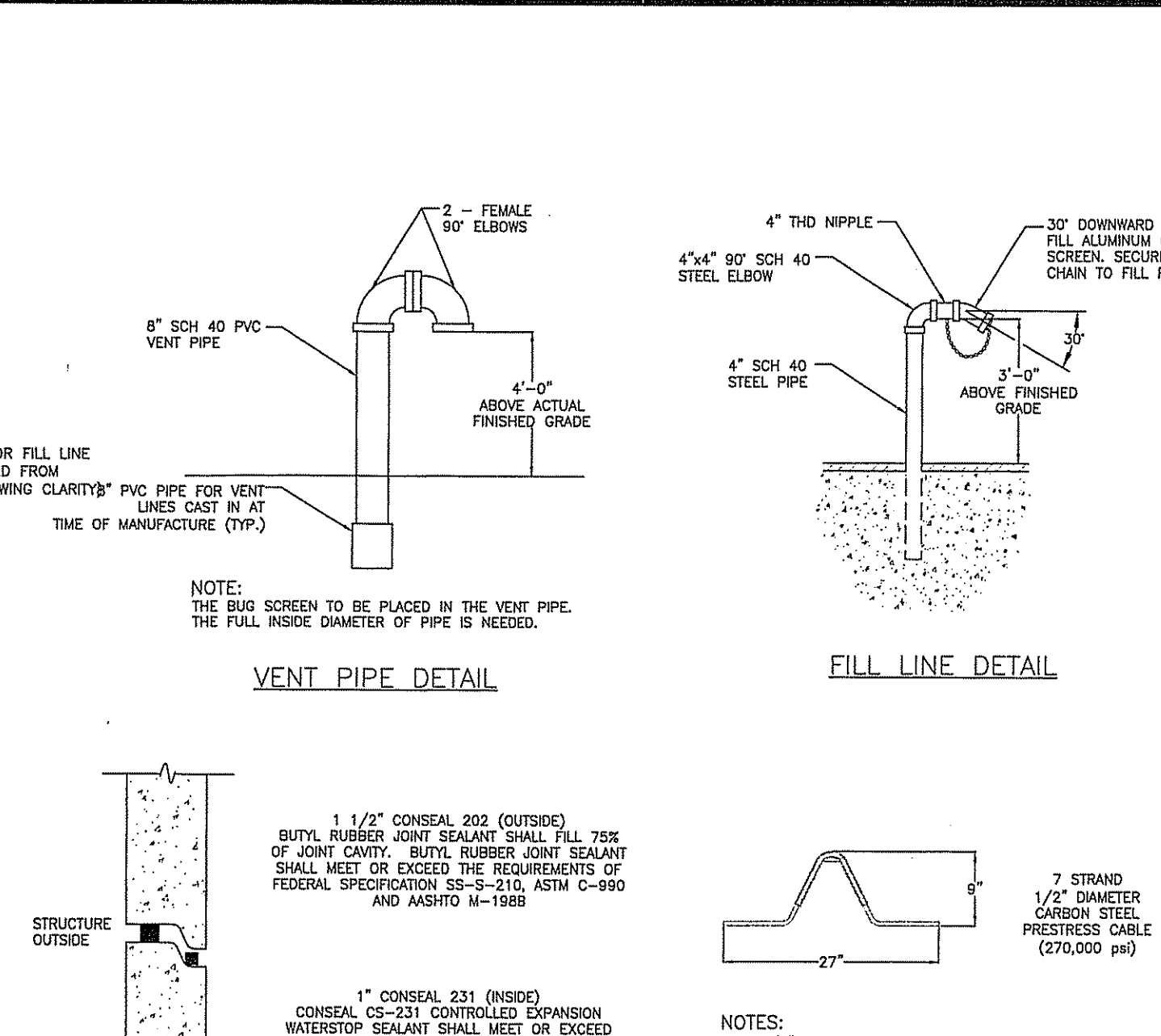
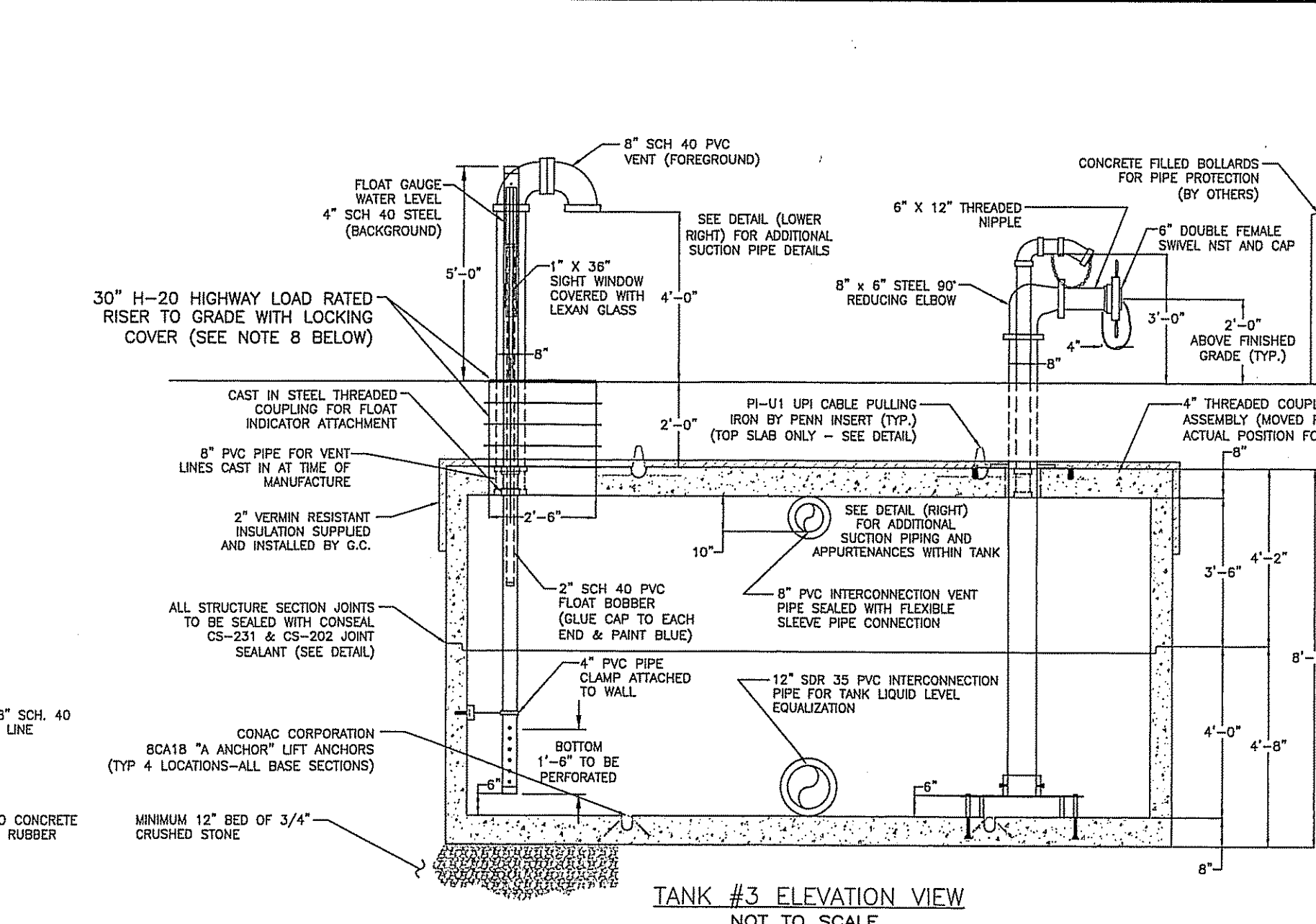
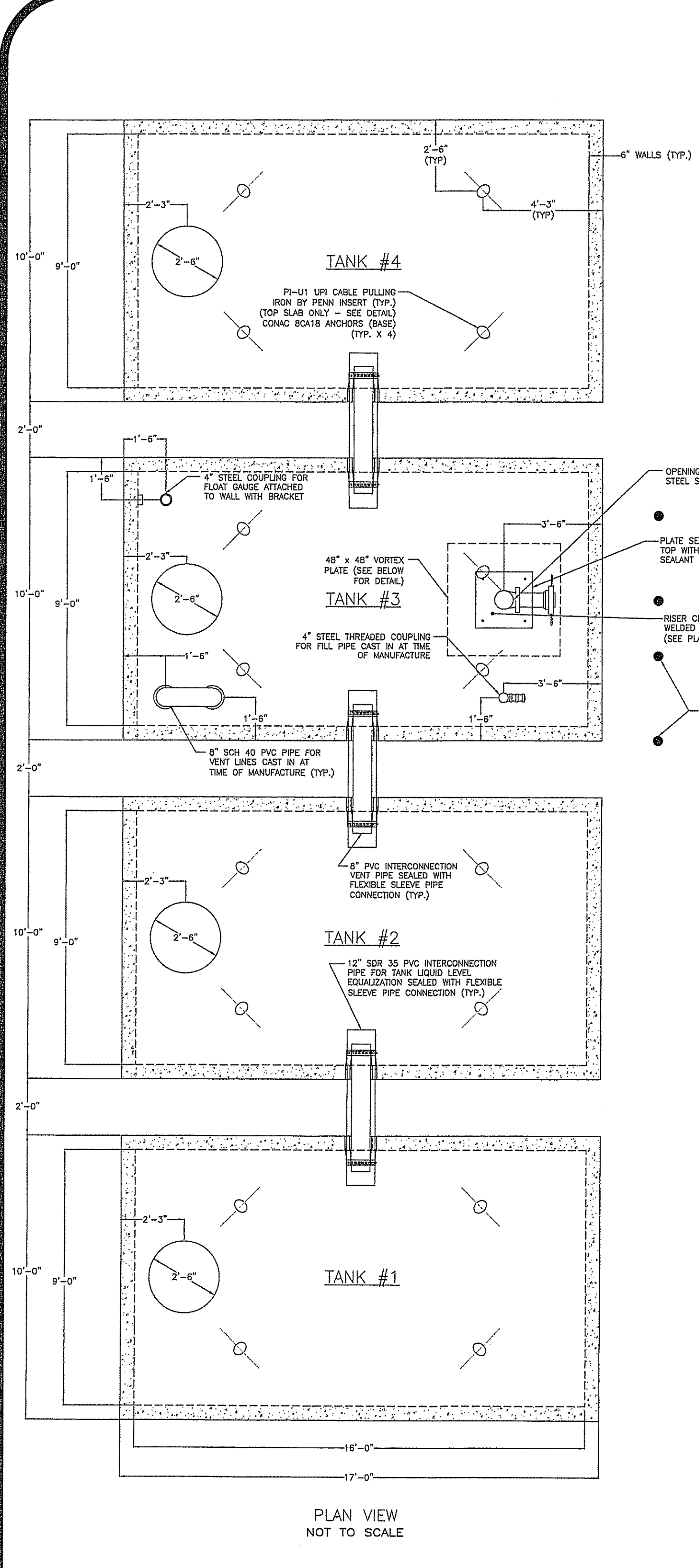
WATER CONSTRUCTION DETAILS
TODDY BROOK ESTATES
TAX MAP 41 LOTS 25, 28 & 44
(SILVER LAKE ROAD)
HOLLIS, NEW HAMPSHIRE
PREPARED FOR AND LAND OF:
TODDY BROOK INVESTMENTS, LLC
P.O. BOX 748, NASHUA, NH 03061-0748 (LOT 41-25)
AND LAND OF:
RAISANEN HOMES ELITE LLC
P.O. BOX 748, NASHUA, NH 03061-0748 (LOTS 41-28 & 41-44)
SCALE: AS SHOWN JULY 23, 2021

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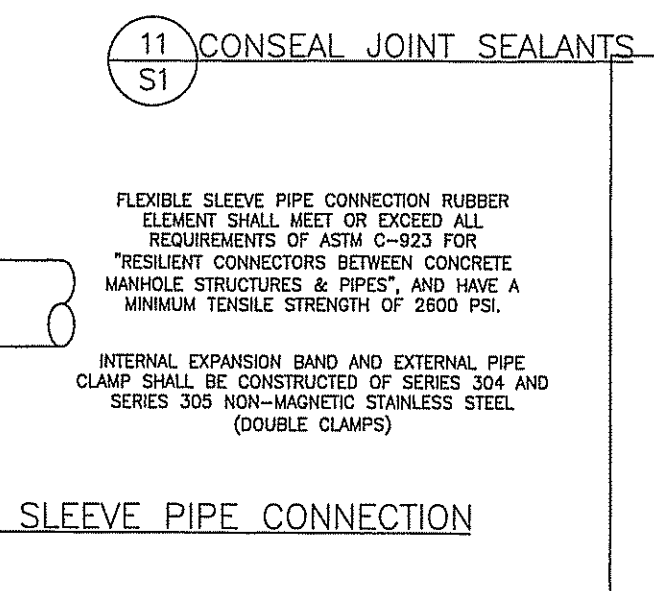
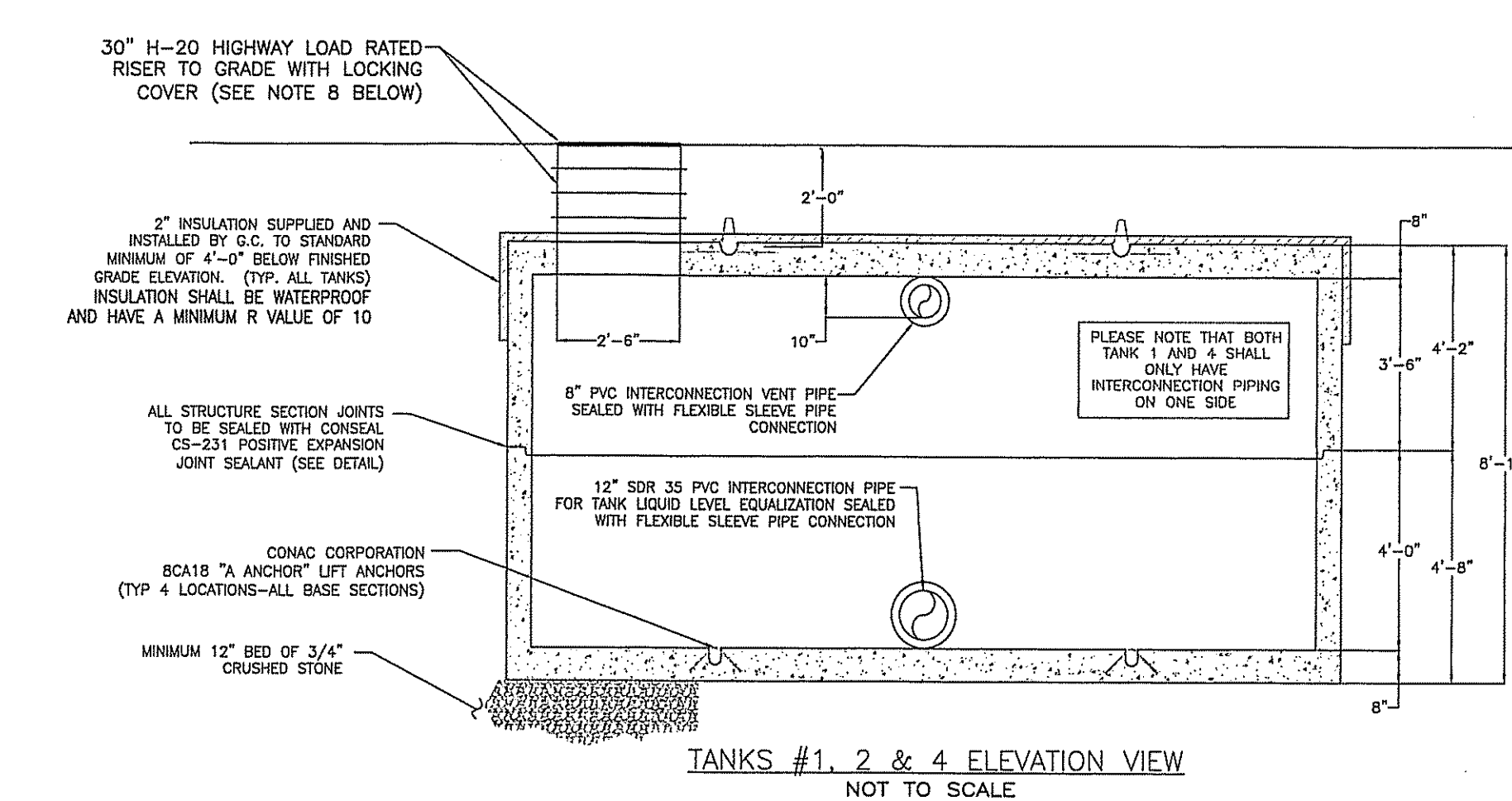
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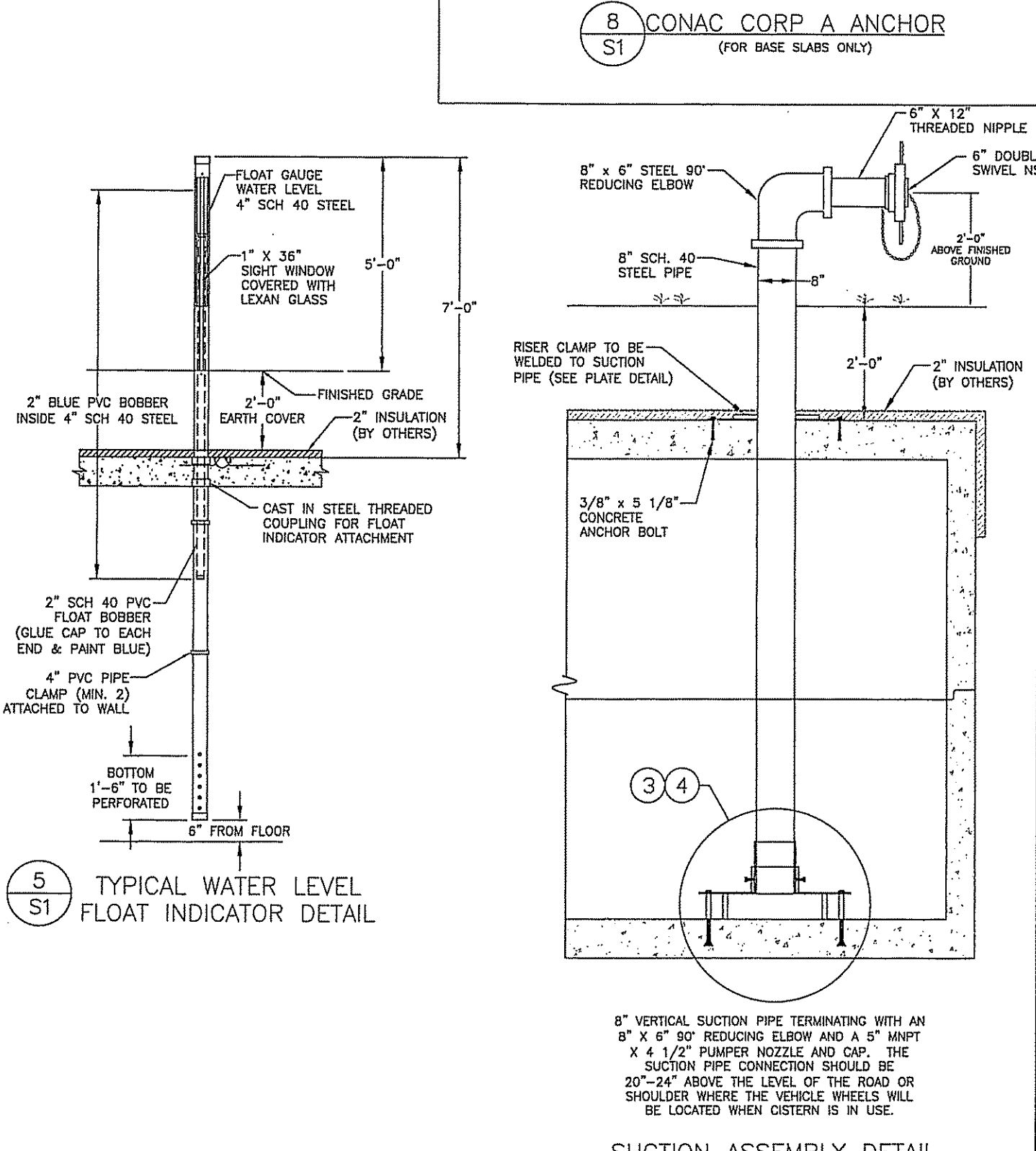
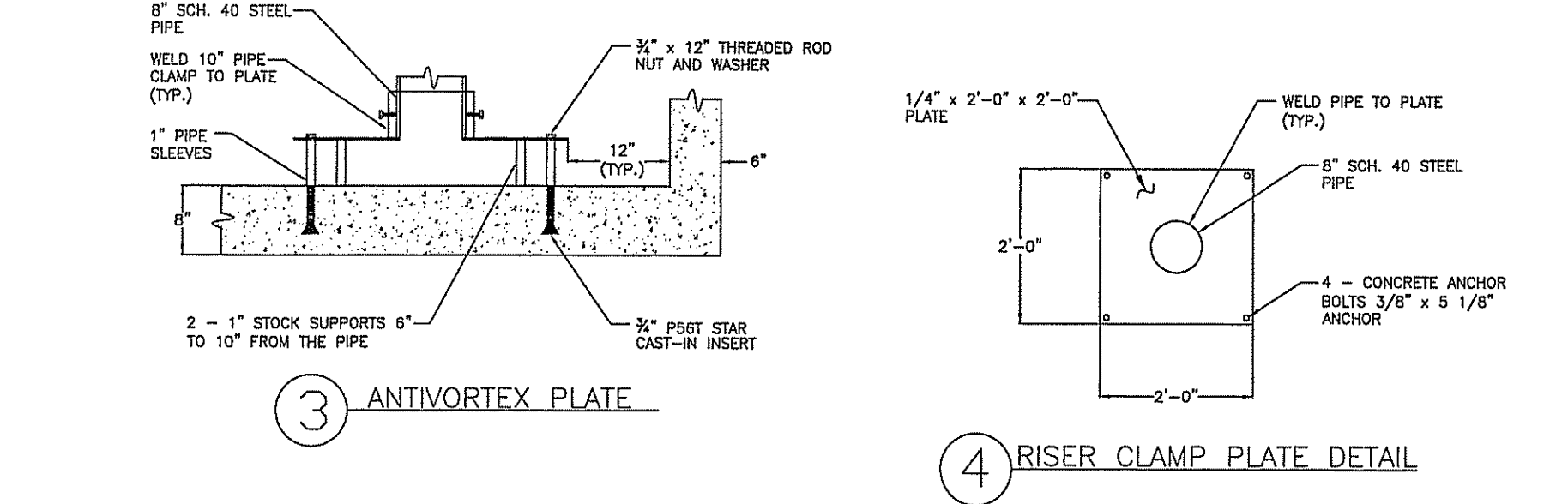
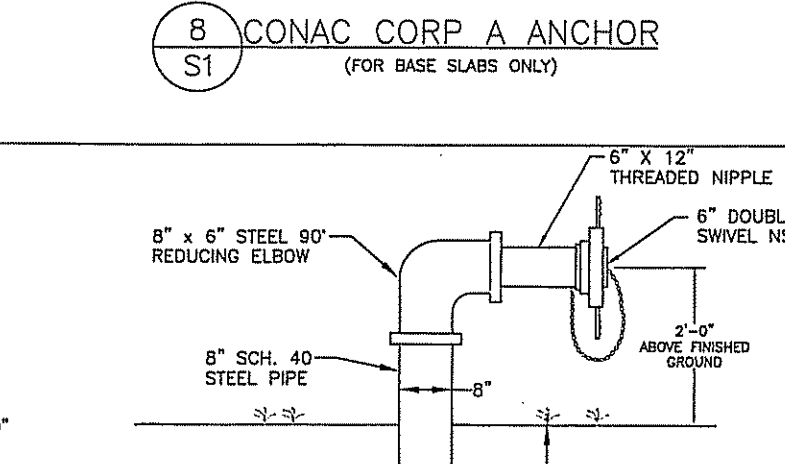


- FOUNDATION & BACKFILL NOTES:**
- FOUNDATION MATERIAL SHALL BE 3/4" CRUSHED STONE, MINIMUM 12" THICK.
 - 1 1/2" BANK RUN GRAVEL SHALL BE USED FOR BACKFILL OPERATIONS SURROUNDING TANK. BACKFILL SHALL BE PLACED IN MAXIMUM 12" LOOSE LIFTS. IT SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY BY MODIFIED PROCTOR METHOD (ASTM 1557). ALL COMPACTION SHALL BE DONE WITH HAND-OPERATED COMPACTION EQUIPMENT.
 - TANK EXCAVATION SHALL BE KEPT DEWATERED THROUGHOUT INSTALLATION AND BACKFILL OPERATIONS.
 - ALL AREAS BETWEEN TANKS SHALL BE FILLED TO A MINIMUM OF 12" ABOVE CROWN OF INTERCONNECTION PIPE WITH 3/4" CRUSHED STONE. 1 1/2" BANK RUN GRAVEL MAY BE USED ABOVE THIS ELEVATION, PROVIDED THAT PROPER COMPACTION AS STATED IN NOTE 2 ABOVE CAN BE ACHIEVED.
 - ALL BACKFILL MATERIAL BETWEEN TANKS SHALL BE PLACED IN 12" LIFTS AT THE SAME TIME AS THE MATERIAL SURROUNDING THE TANKS.



Product Code	SLAB Min. 90"	A - Anchor SWL AT 90° TENSION		Edge Distance
		SWL AT 90° SHEAR	SWL AT 90° SHEAR	
4CA14	4	3,500	5,400	24"
5CA14	5	5,500	8,500	28"
6CA18	6	6,000	9,300	30"
6CA18	6	6,500	10,100	34"
6CA18	6	7,500	11,600	35"
8CA18	8	13,000	20,000	46"

Note: Safe working load provides a factor of safety of approximately 4:1 based on a minimum concrete strength of 4,000 psi.
 For use as Pulling Iron load may be increased by 33% with 3 to 1 Safety Factor.



- NOTES:**
- CONCRETE: 5,000 PSI @ 28 DAYS. CEMENT TO BE TYPE III PER ASTM C-150.
 - REINFORCED TO BE PER ASTM A-615, GRADE 60 DEFORMED BILLET STEEL WITH 1" MINIMUM COVER UNLESS OTHERWISE NOTED.
 - REINFORCED TO MEET OR EXCEED REQUIREMENTS OF AASHTO HS20-44, COVER: 1" - 6".
 - ALL SECTION JOINTS SEALED WITH BUTYL RUBBER JOINT SEALANT PER ASTM C-990 & AASHTO M-198.
 - EXTERIOR TO BE COATED WITH CONSEAL CS-55 ACRYLIC COATING OR SCHARBOLD LM-12 ASPHALT OLIGOSTONE PAINT THAT MEETS THE REQUIREMENTS OF FEDERAL SPECIFICATION TT-C-494, TYPES I, II & III.
 - HIGHEST SECTION TO WHICH: 33,769.9 (16.10 YDS) TOTAL, 8.05 YDS PER SECTION.
 - ALL METALIC PIPING SHALL BE GALVANIZED STEEL FINISH.
 - CISTERN MANHOLES SHALL BE H-20 HIGHWAY LOAD RATED AND BE EQUIPPED WITH A LOCKING MECHANISM THAT HAS BEEN APPROVED BY THE TOWN HOLLIS FIRE DEPARTMENT.



MICHE
 MICHE CORPORATION, INC.
 11 BUXTON INDUSTRIAL DRIVE-PO BOX 870
 HENNIKER, NH 03242
 PHONE: 603-428-3218
 FAX: 603-428-7426

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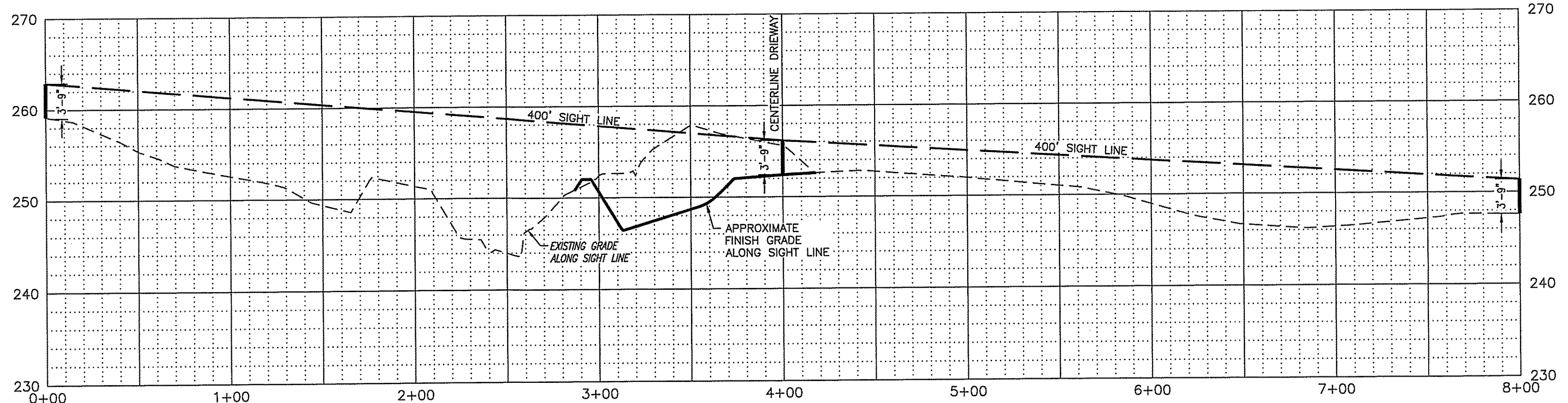
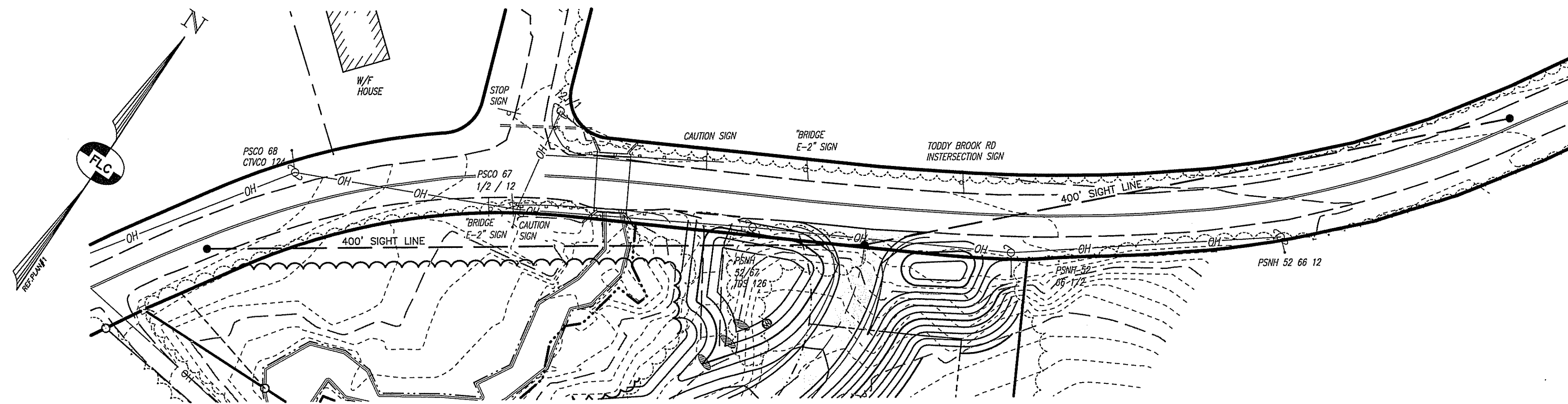
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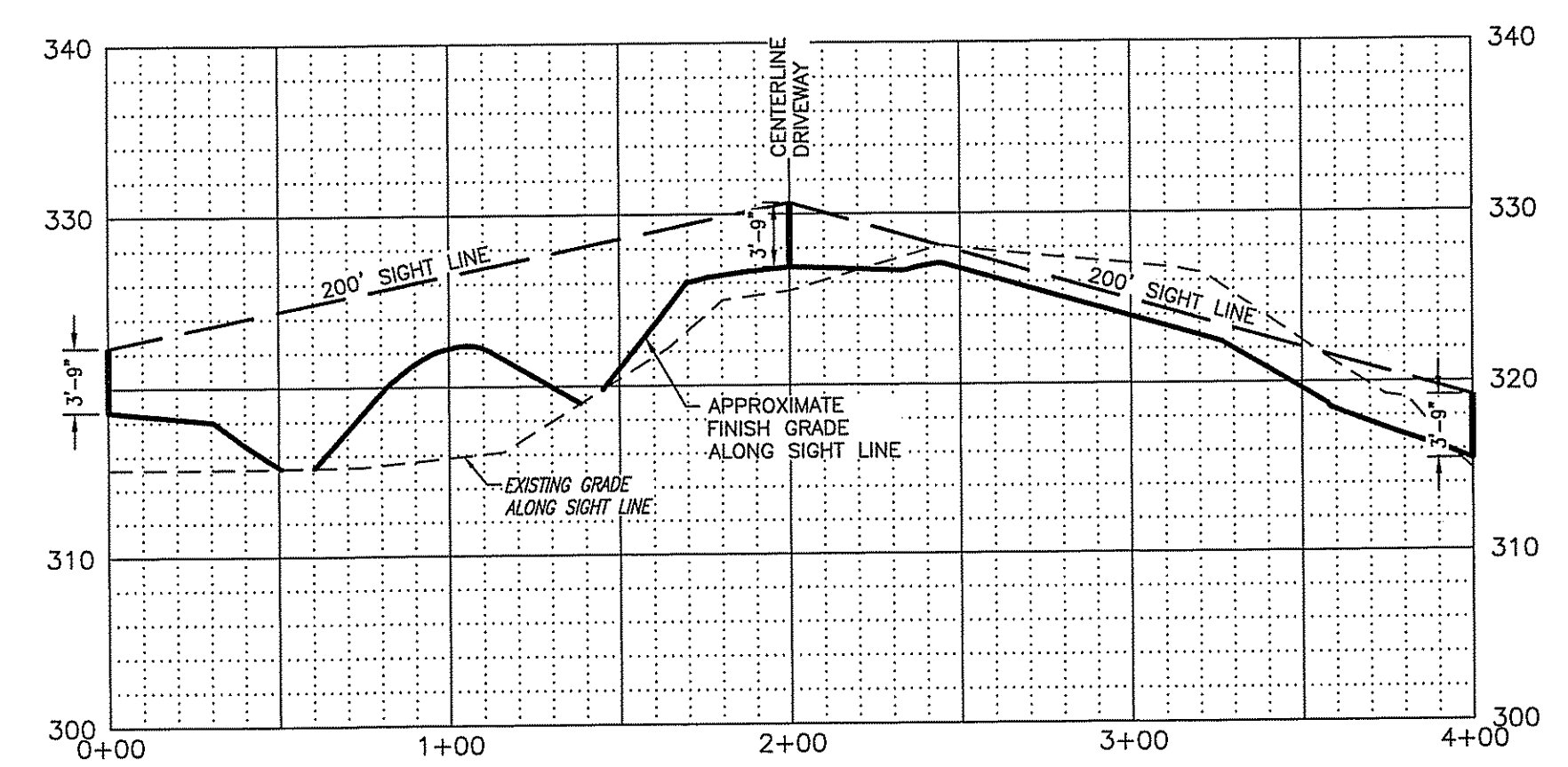
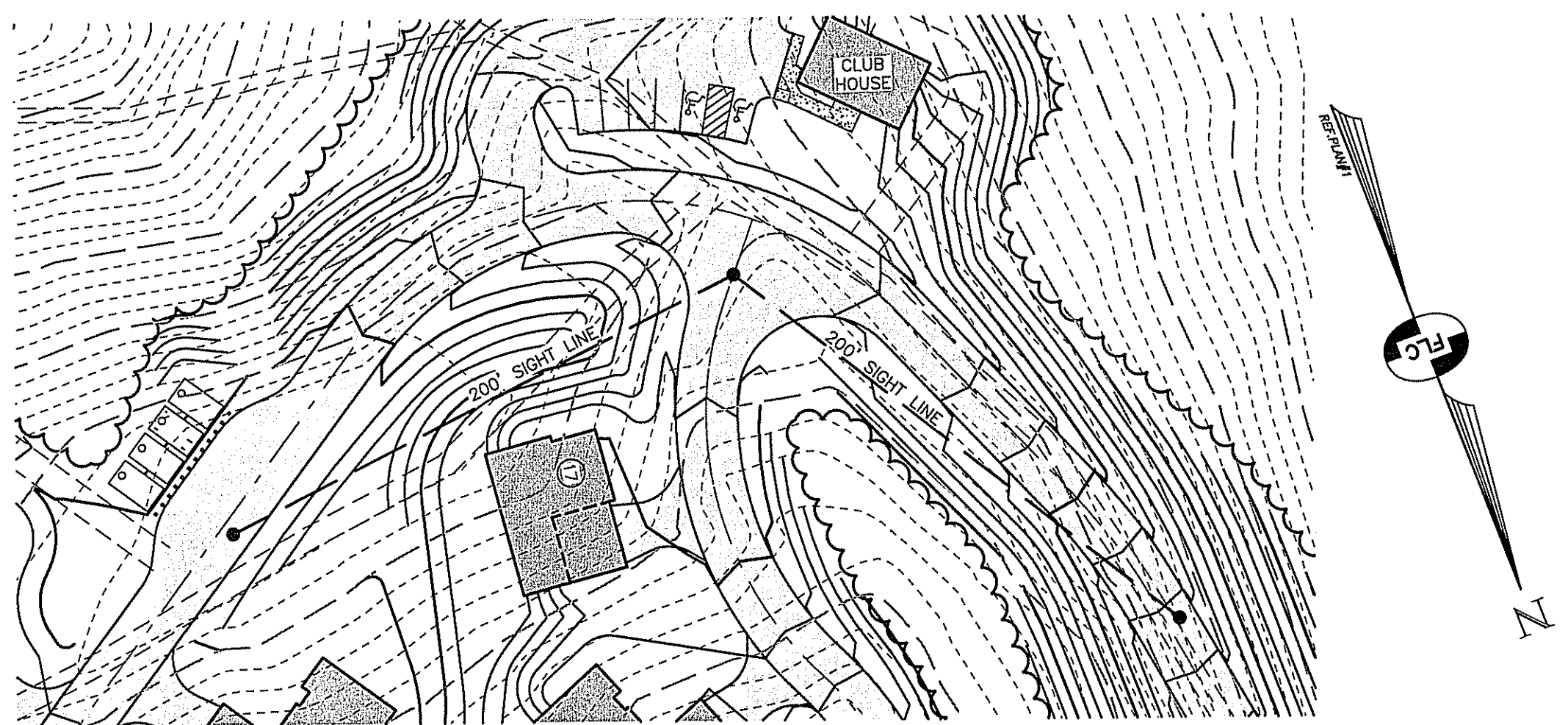
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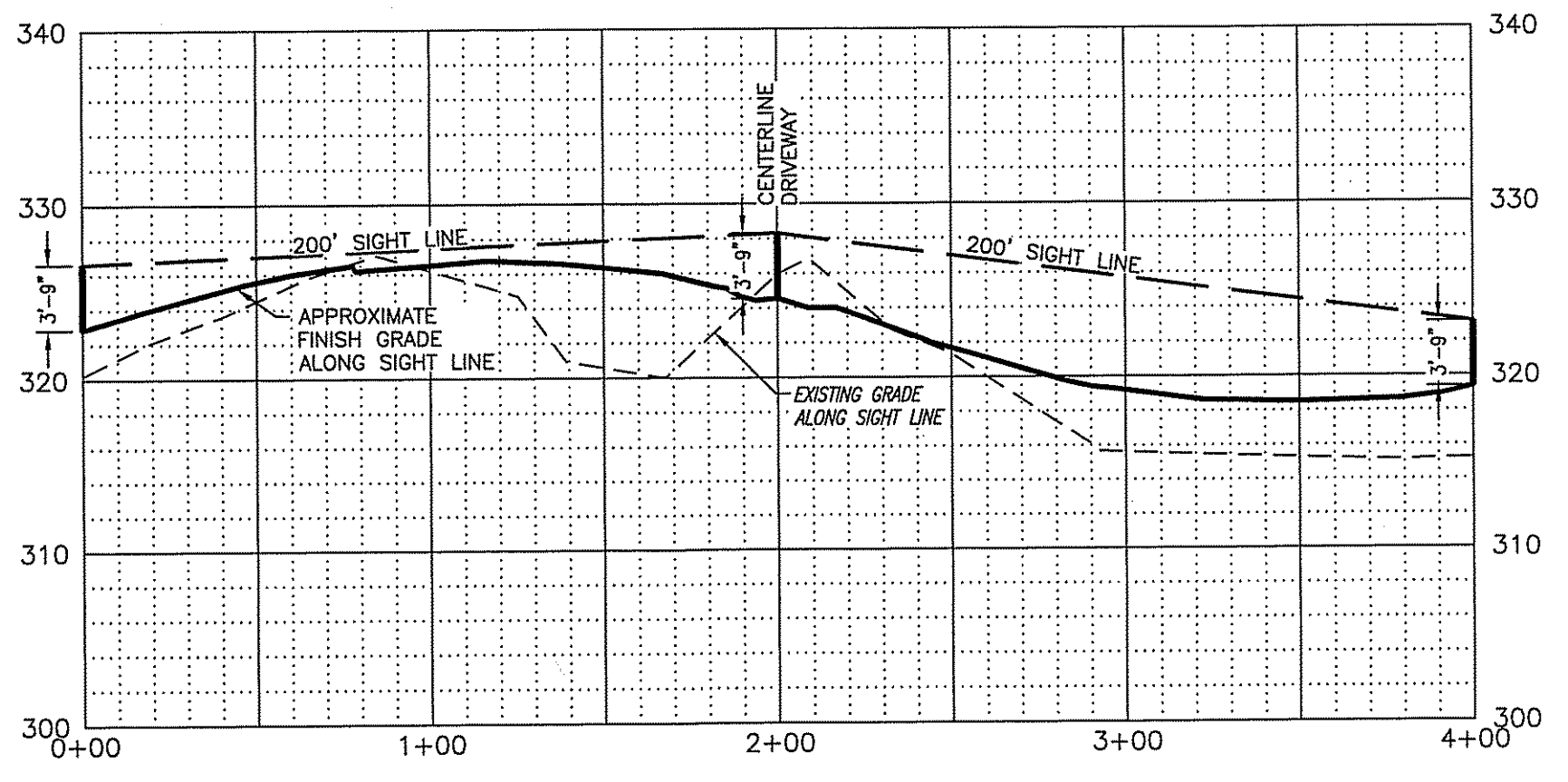
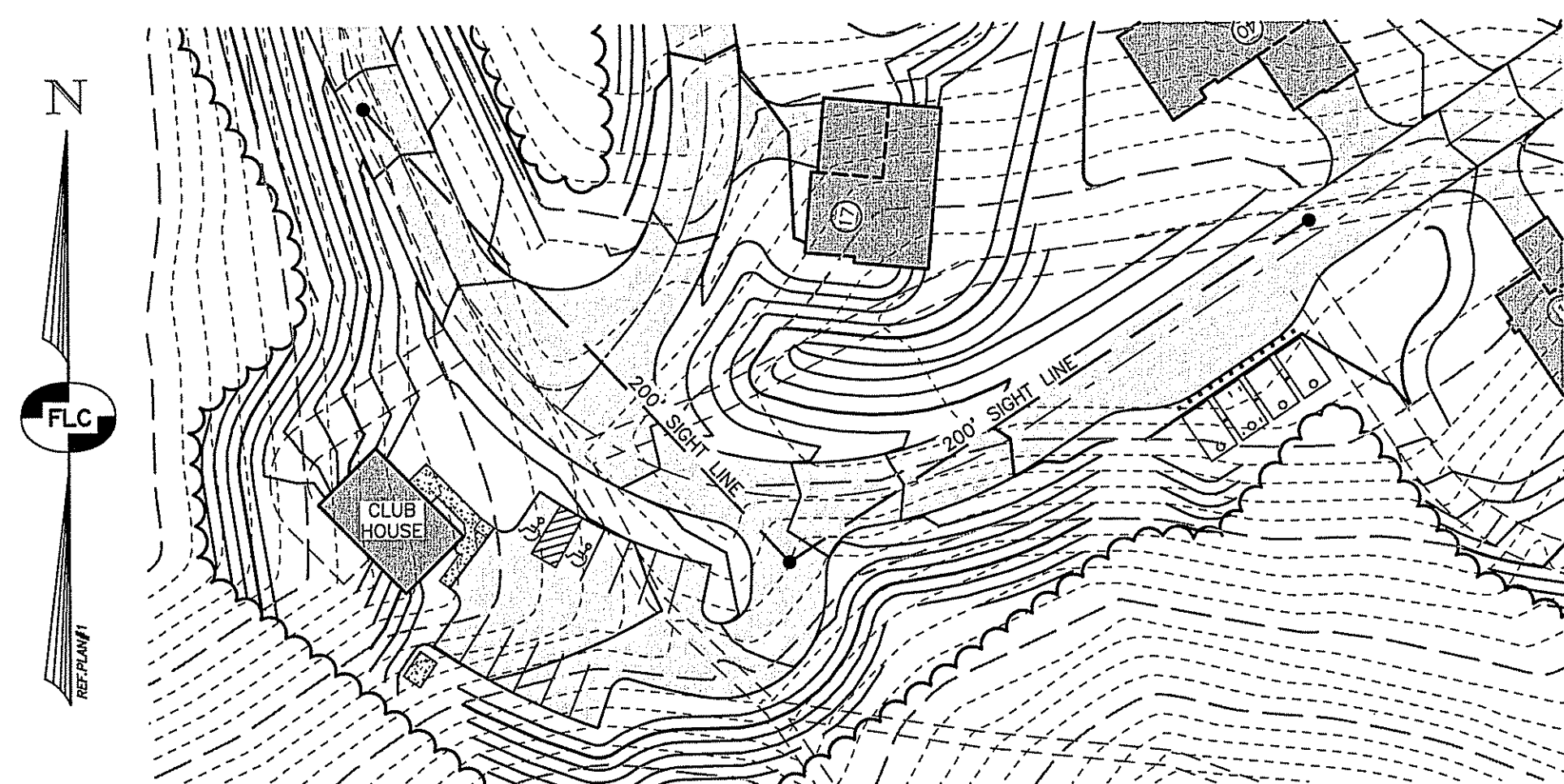
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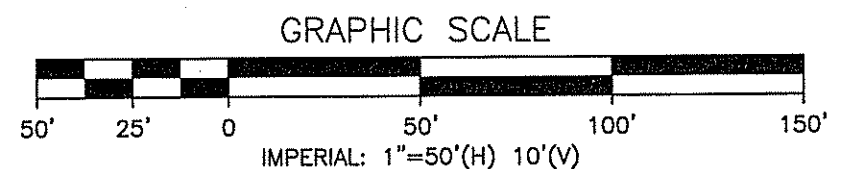
ROUTE 122 SIGHT DISTANCE PLAN AND PROFILE (NHDT)



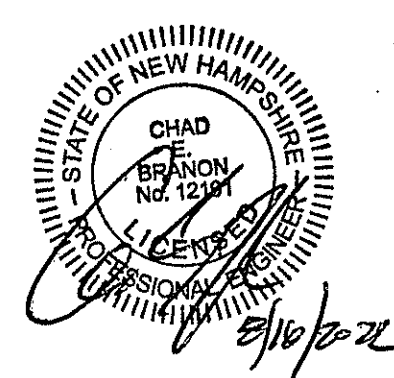
MAIN ROAD INTERSECTION



CLUBHOUSE DRIVEWAY

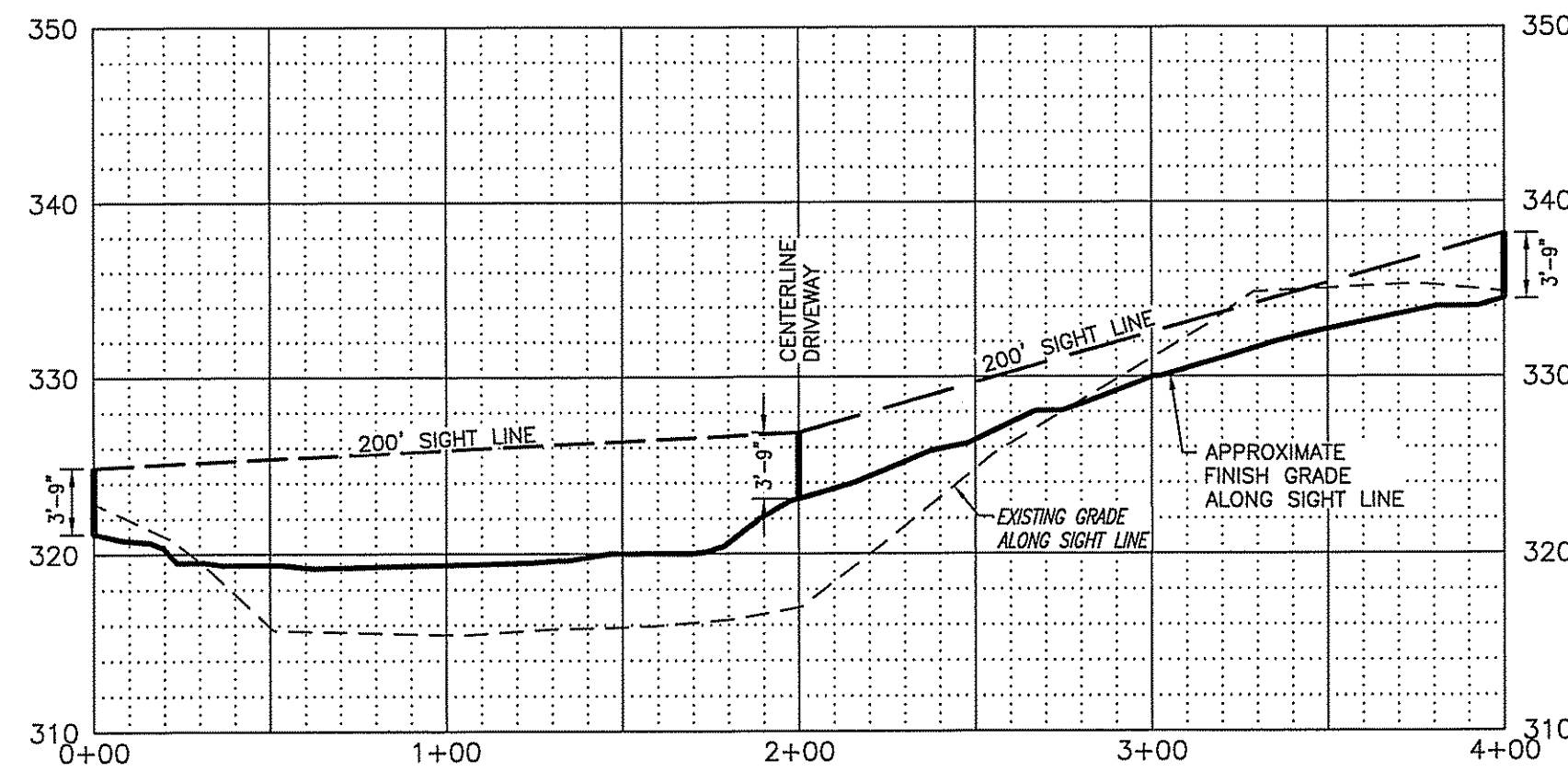
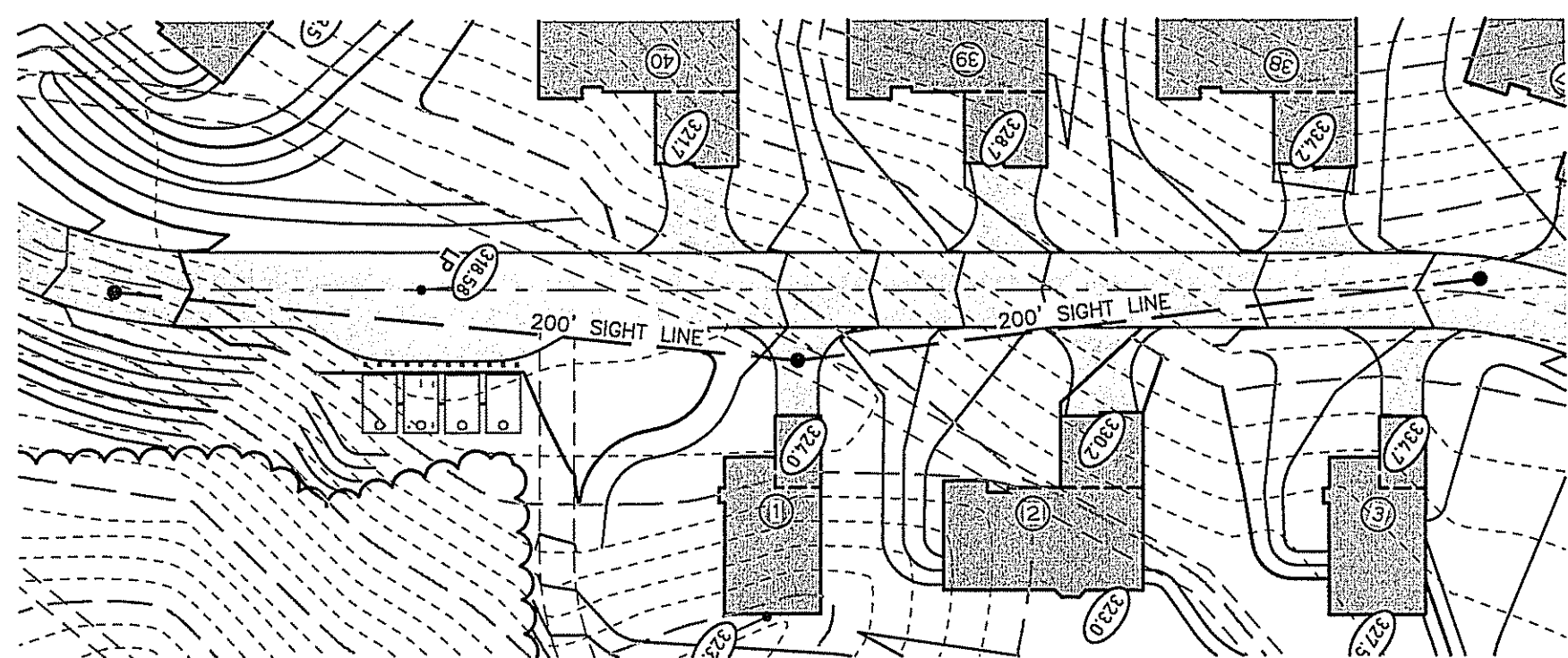


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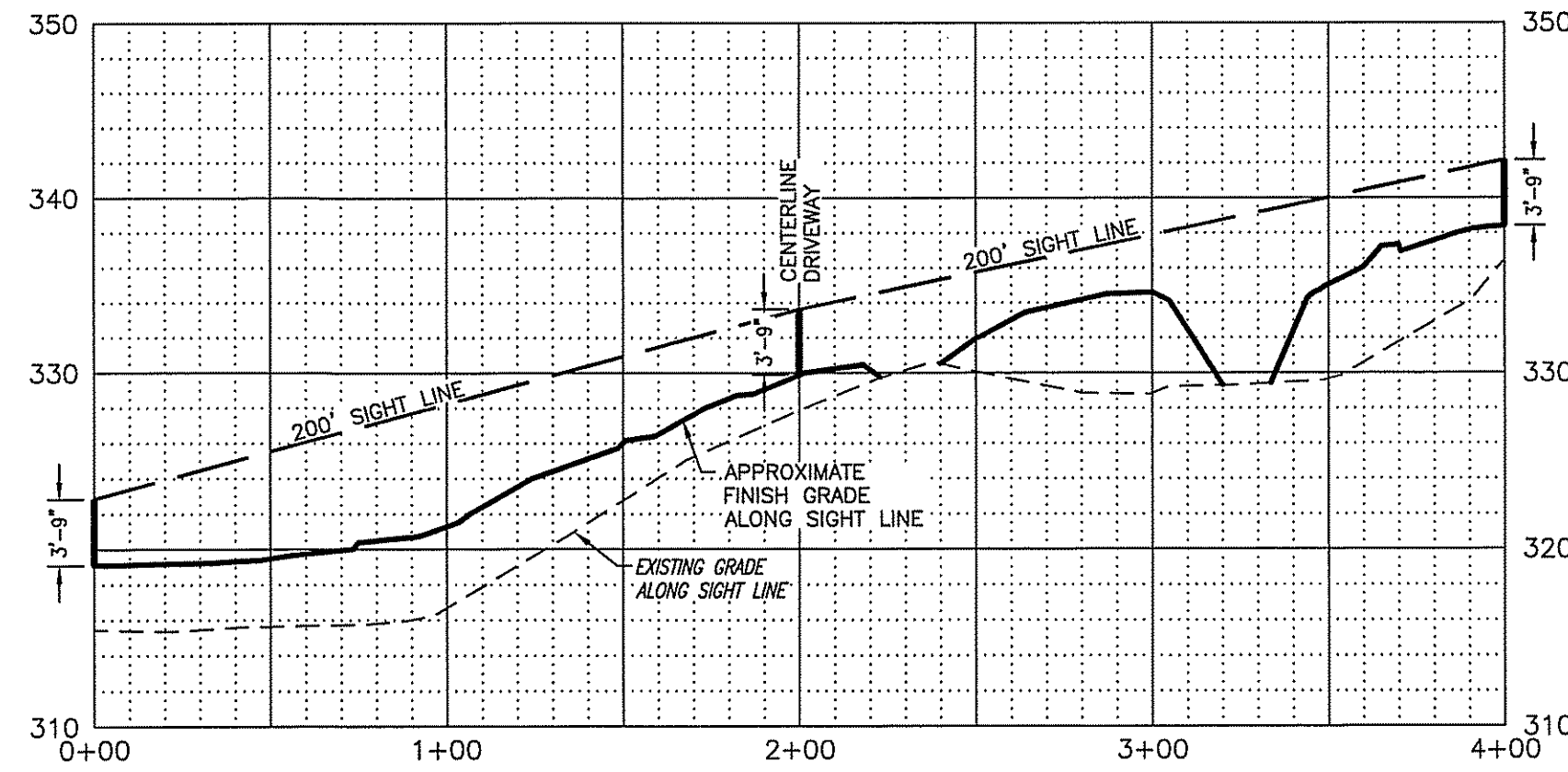
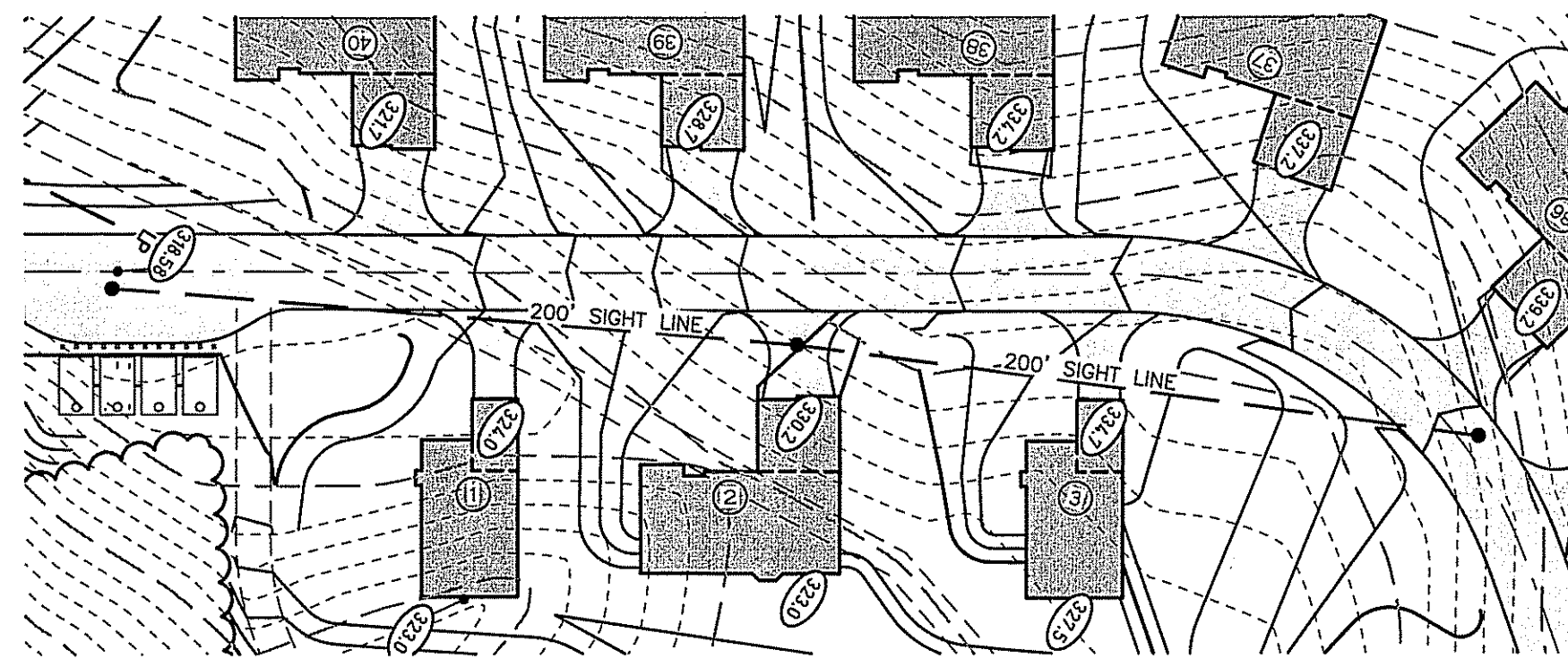


REV.	DATE	DESCRIPTION	DR	CK
B	6/27/22	PER PLANNING BOARD		
A	8/25/21	PER 8/16/21 ENGINEERING REVIEW		

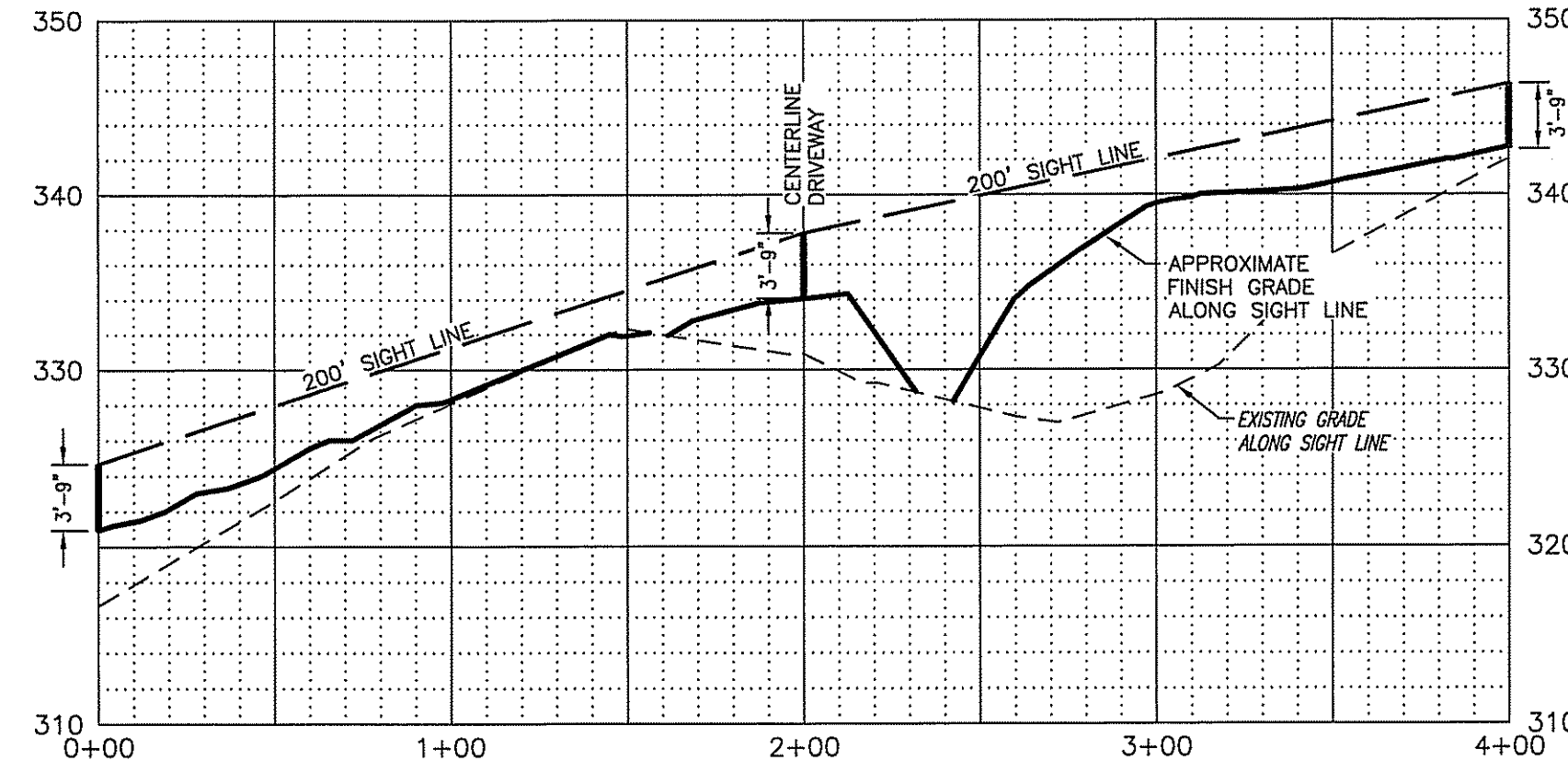
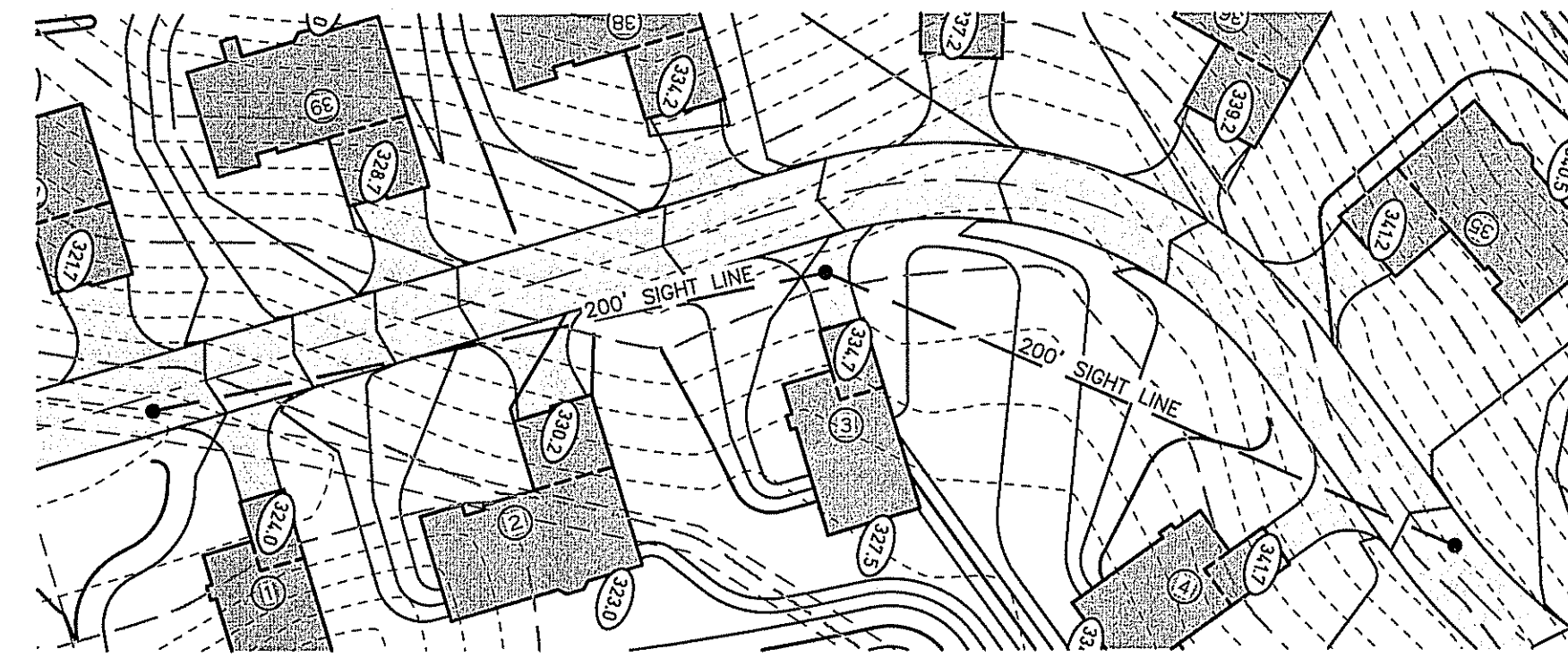
SIGHT DISTANCE PLAN & INTERSECTIONS
PROFILES - INTERSECTIONS
TODDY BROOK INVESTMENTS, LLC
 PLANS ISSUED FOR:
MUNICIPAL REVIEW
 TAX MAP 41, LOTS 25, 28, 44
 HOLLIS, NEW HAMPSHIRE
 SCALE: 1" = 50' HORIZ. / 10' VERT.



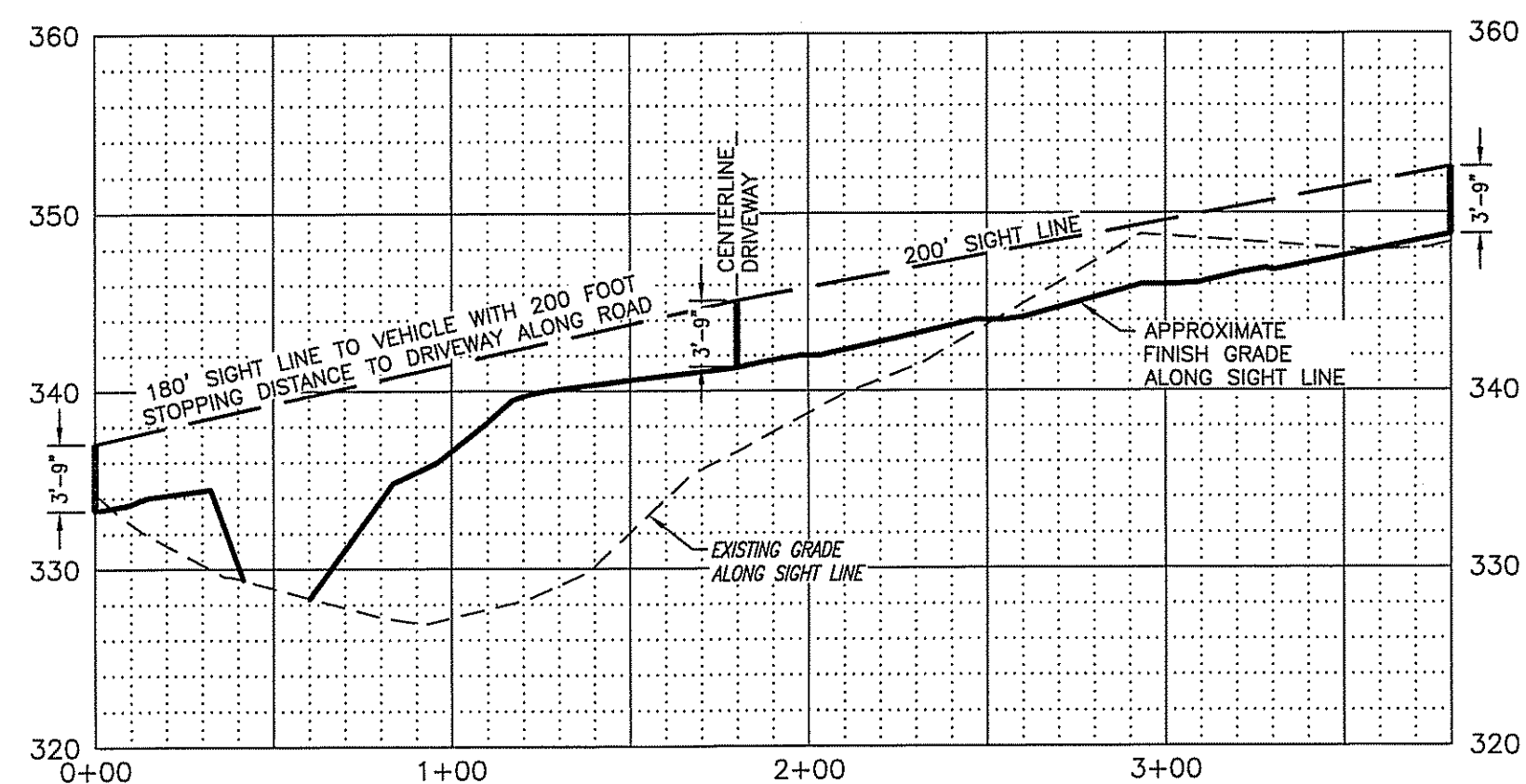
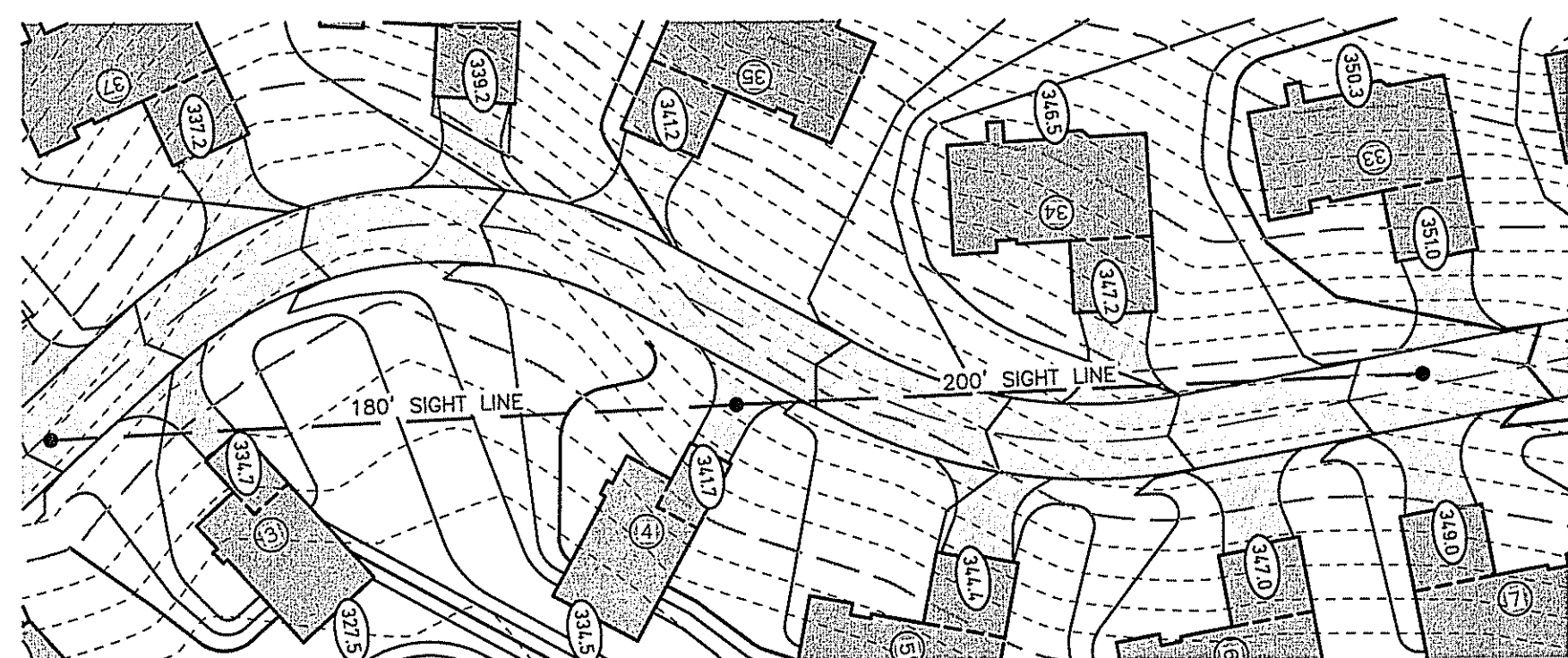
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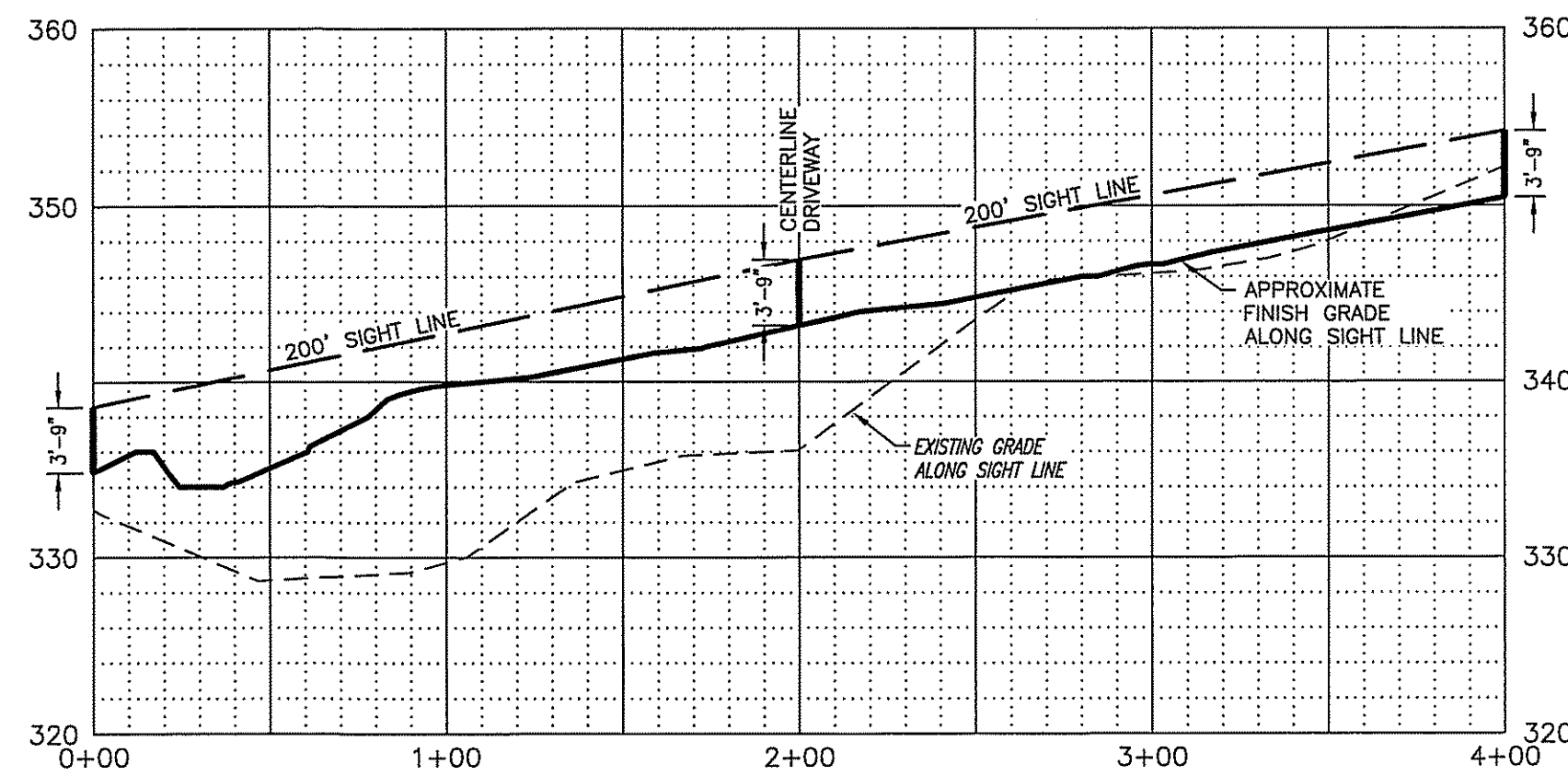
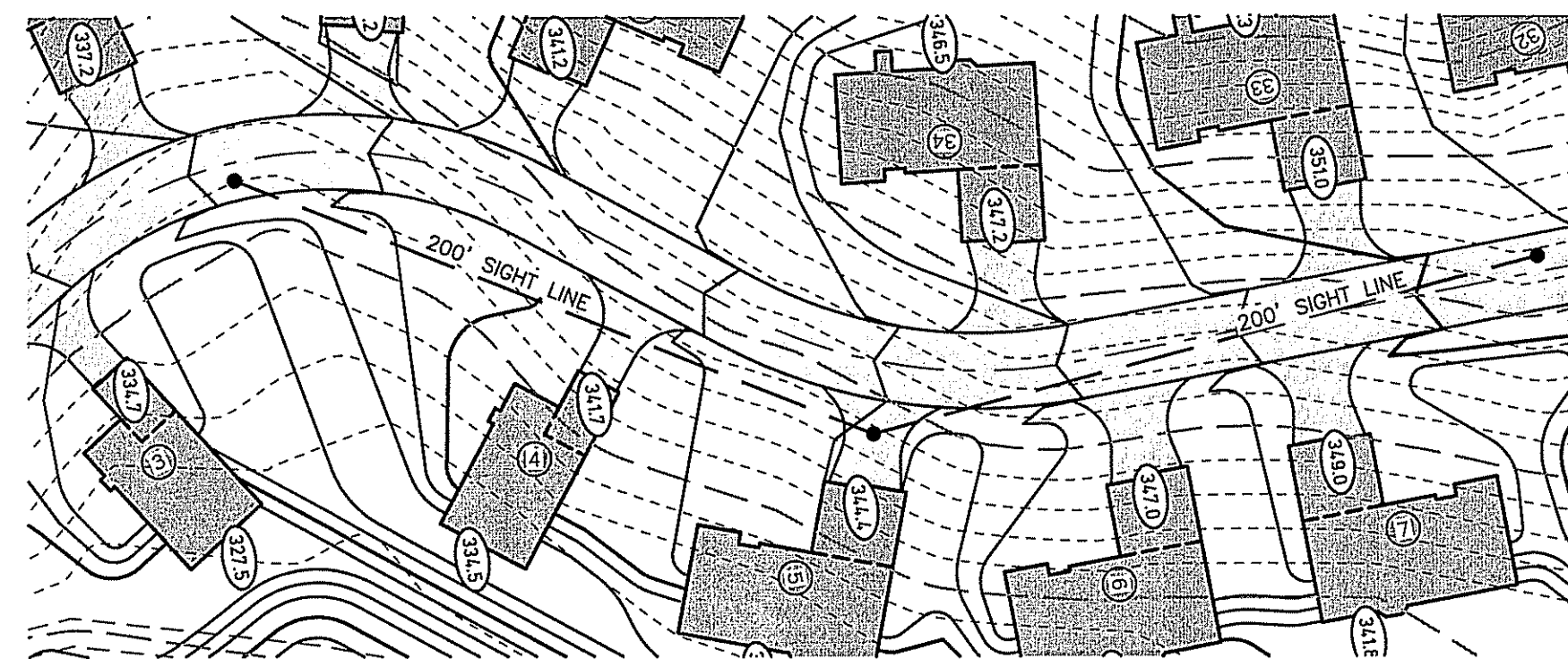
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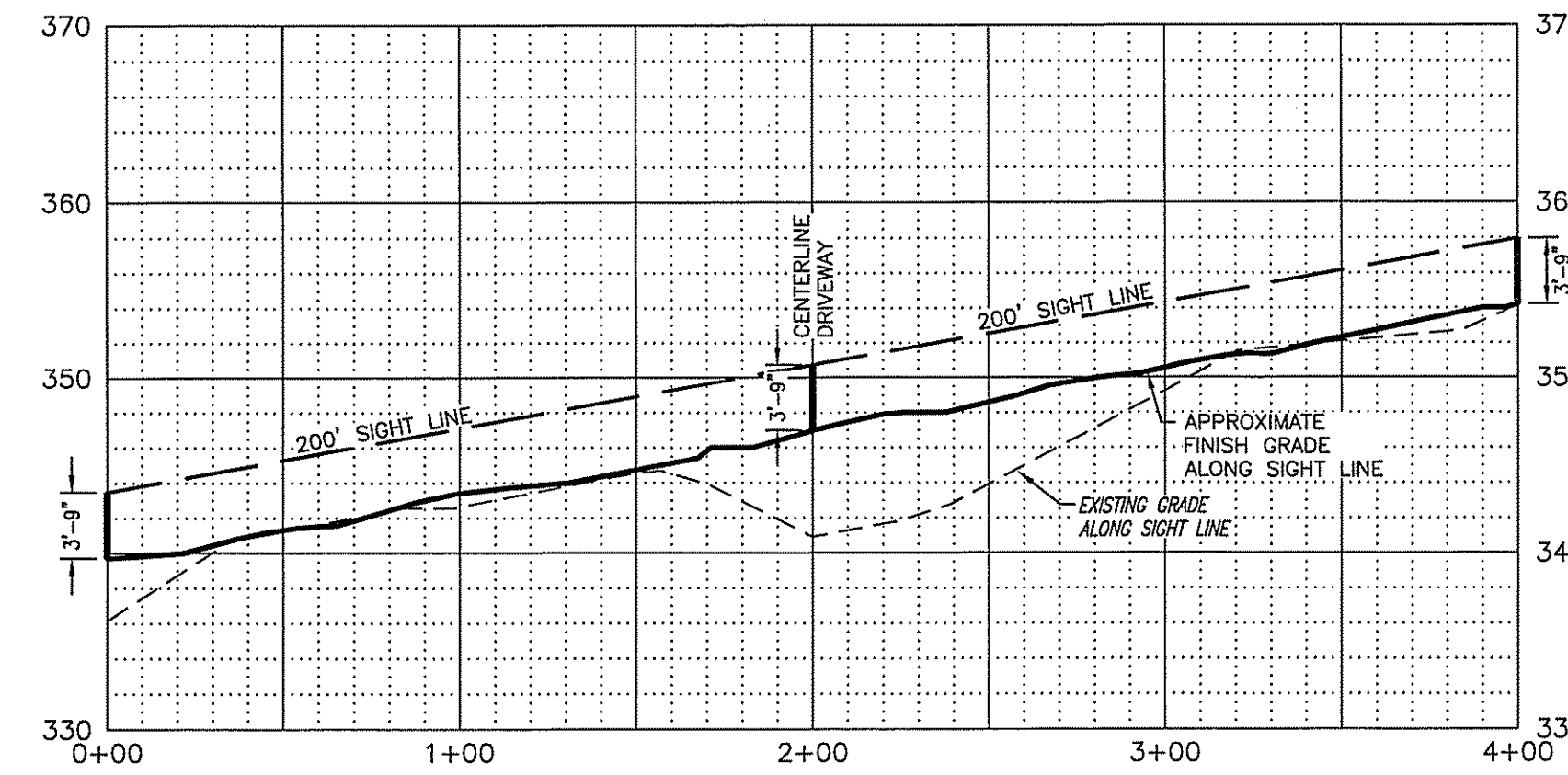
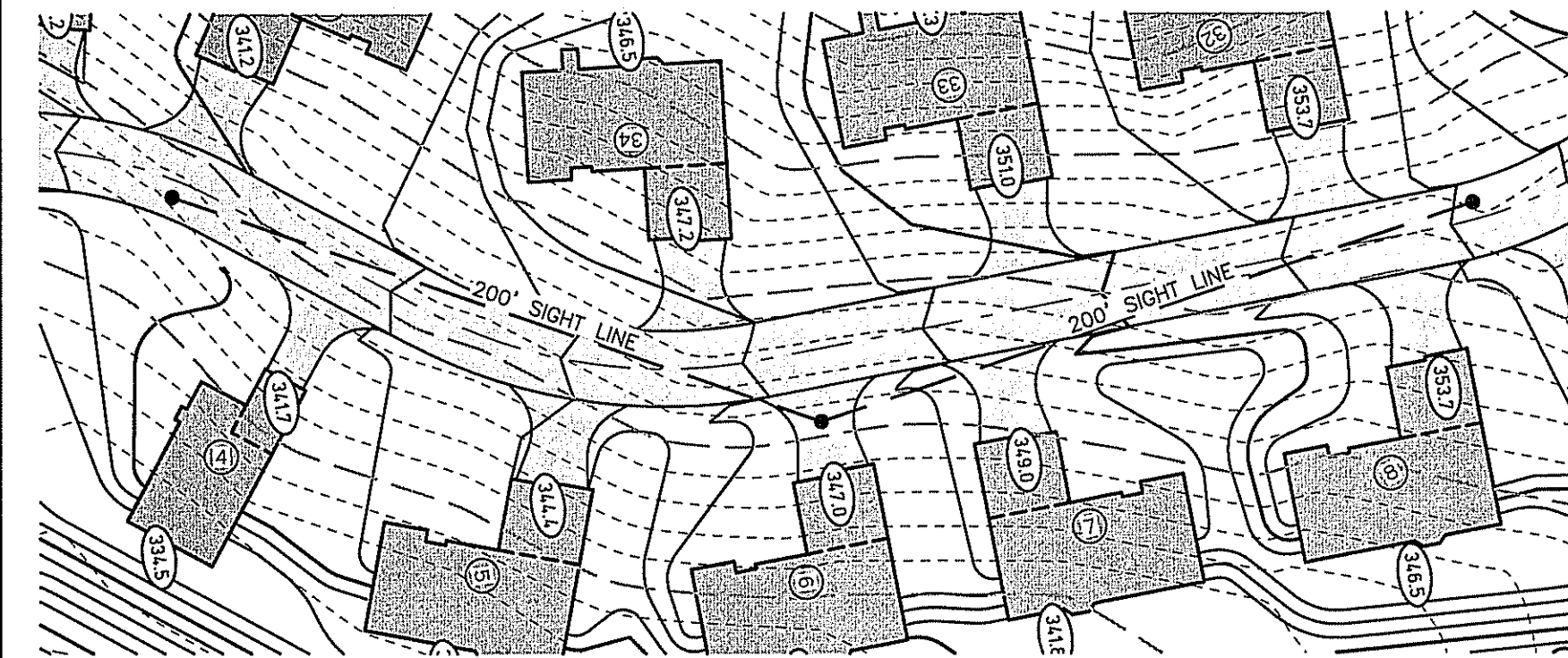
UNIT 3



UNIT 4



UNIT 5

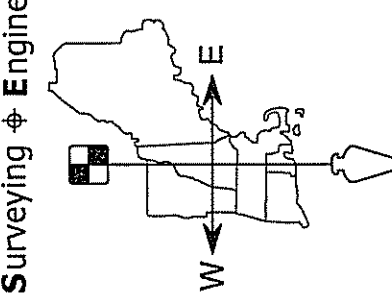


UNIT 6

Surveying & Engineering & Land Planning & Permitting & Septic Designs

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REV.	DATE	DESCRIPTION	DR	CK
B	8/27/22	PER PLANNING BOARD	DSL	INRC
A	8/25/21	PER 8/19/21 ENGINEERING REVIEW	DSL	INRC

RAISANEN HOMES ELITE, LLC
P.O. BOX 748
NASHUA, NH 03061-0748

TODDY BROOK INVESTMENTS, LLC

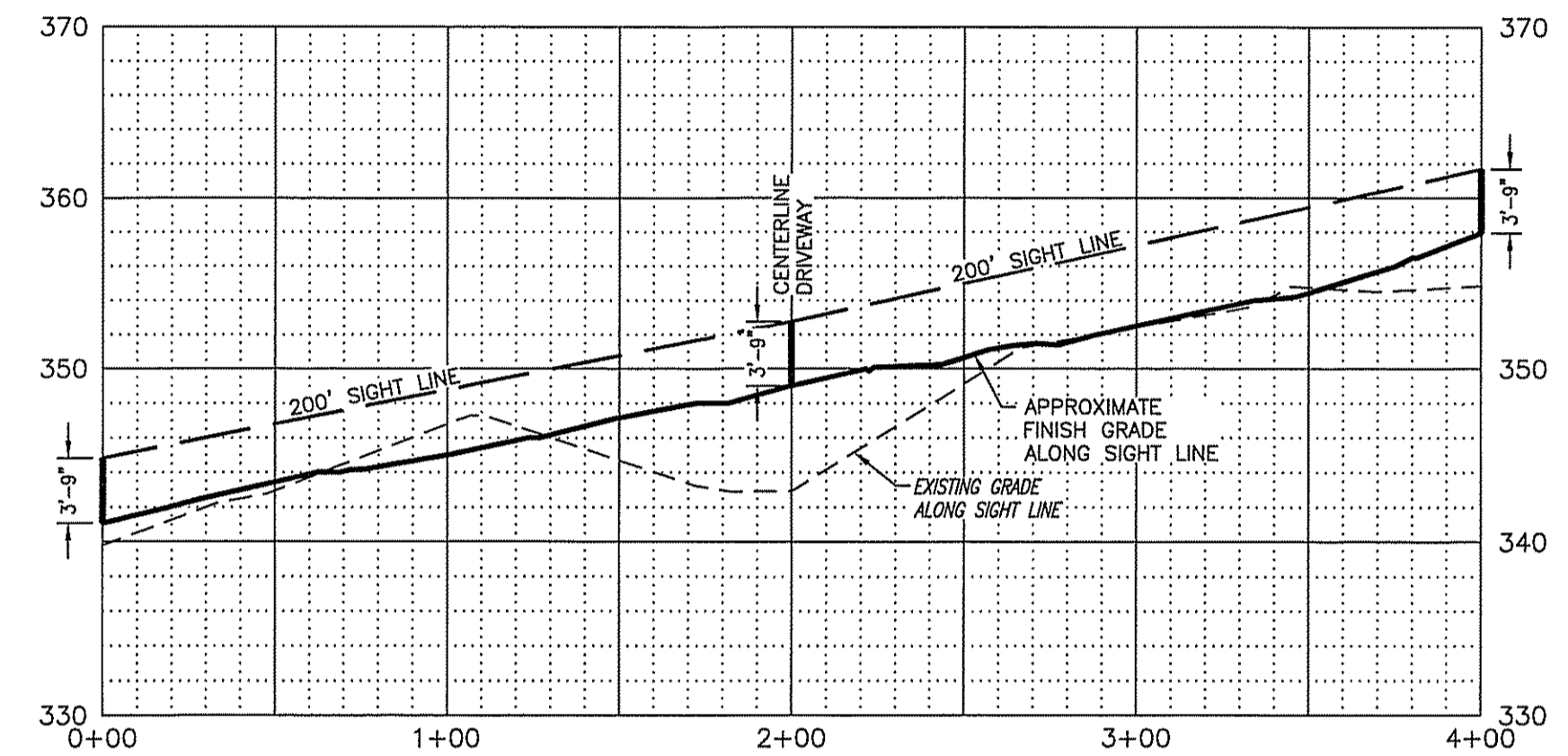
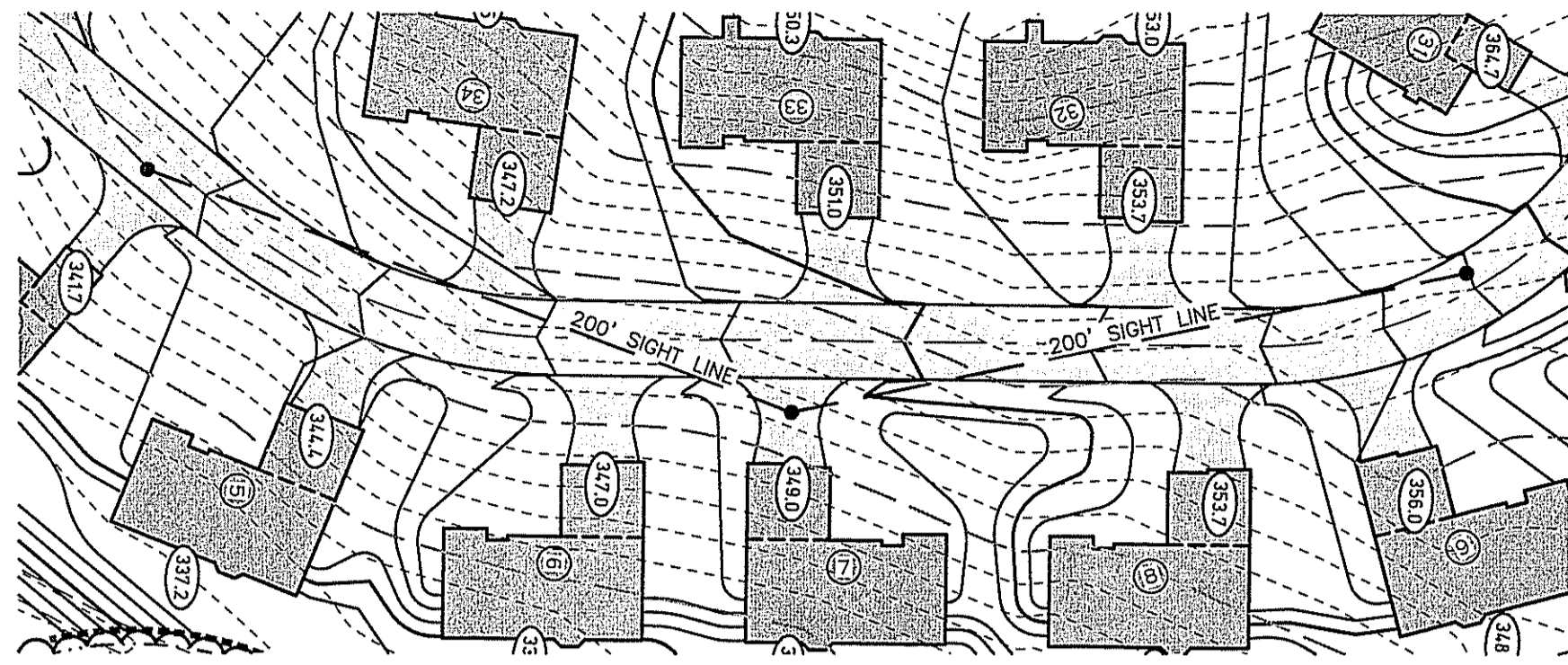
TAX MAP 41, LOTS 25, 28, 44
HOLLIS, NEW HAMPSHIRE

PLANS ISSUED FOR:
MUNICIPAL REVIEW

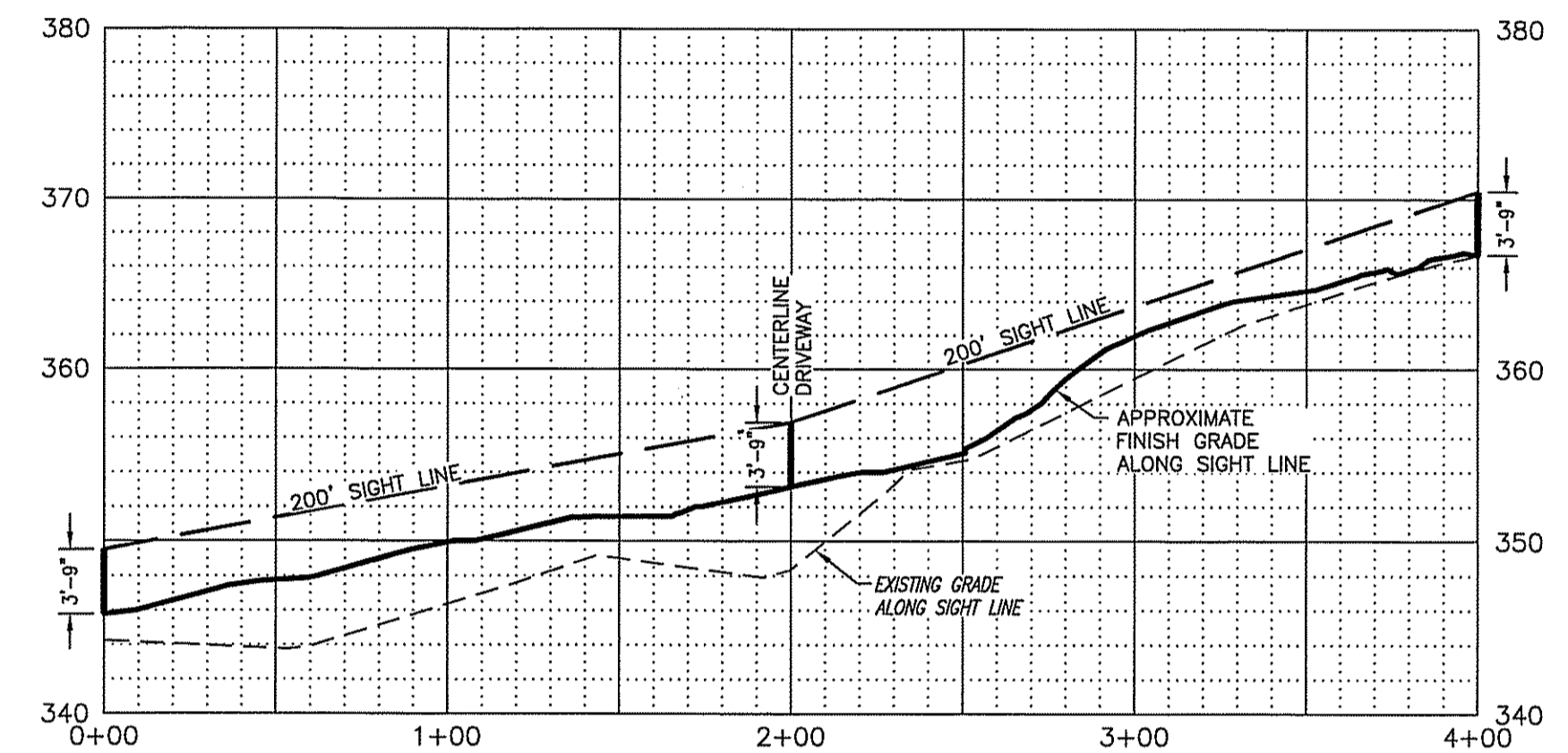
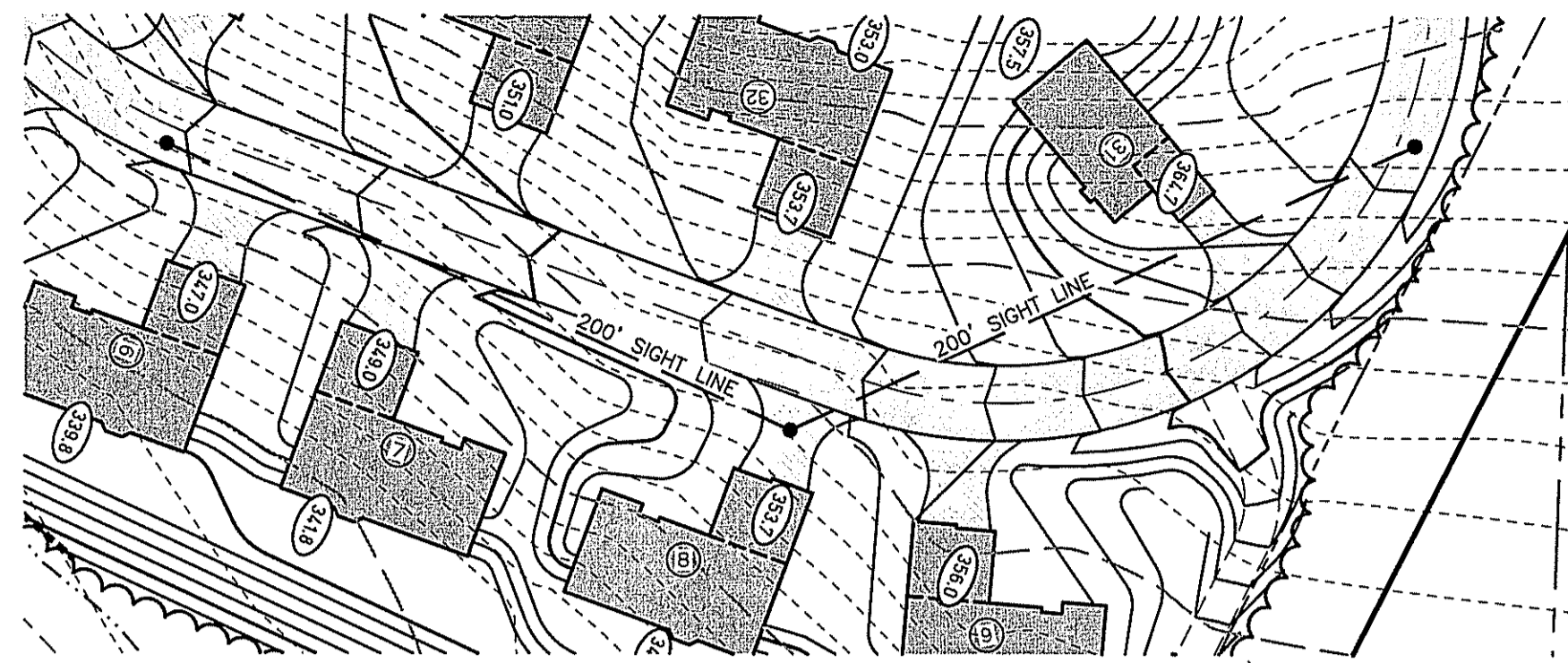
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JULY 27, 2021
FILE: 1591E00B.dwg

EH-2
SHEET

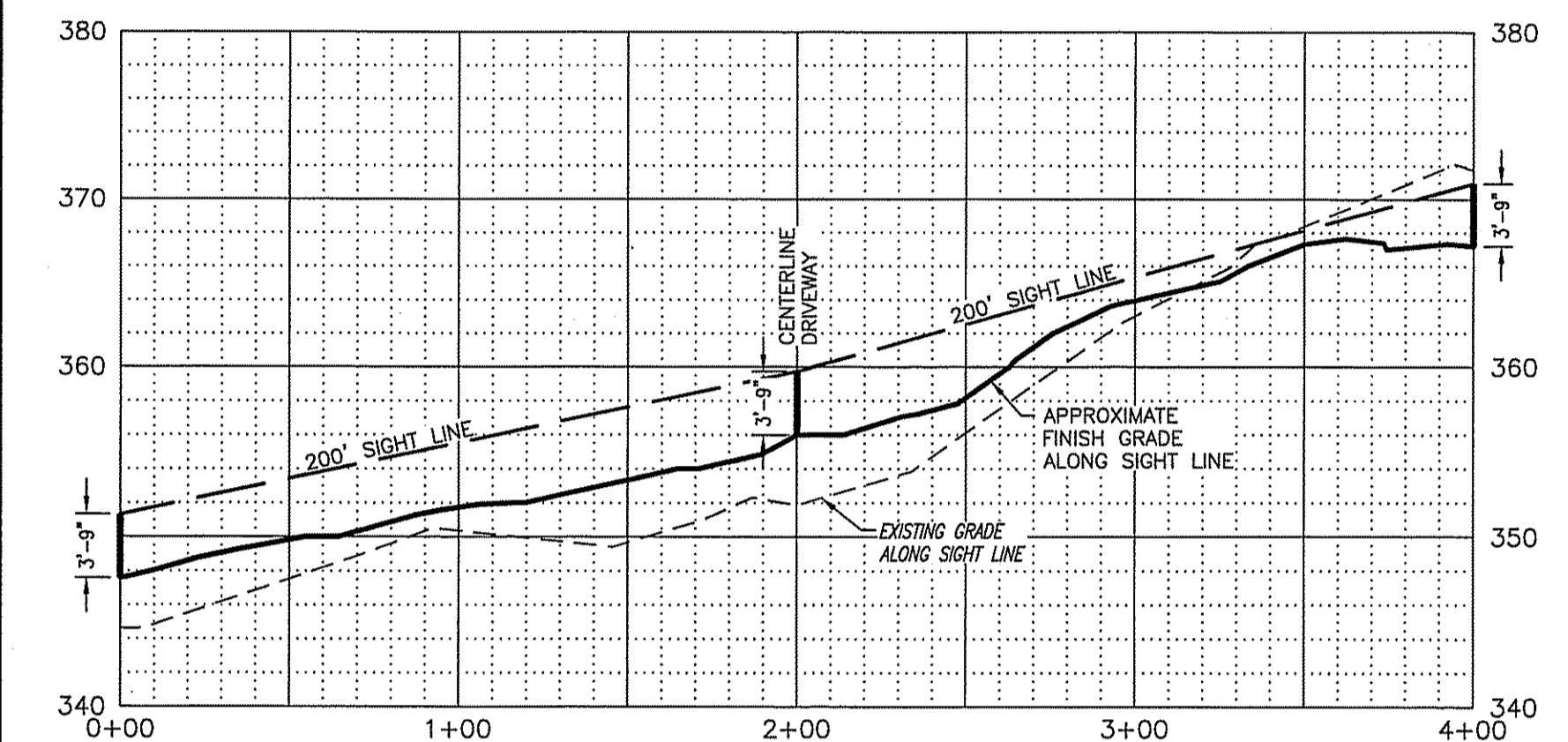
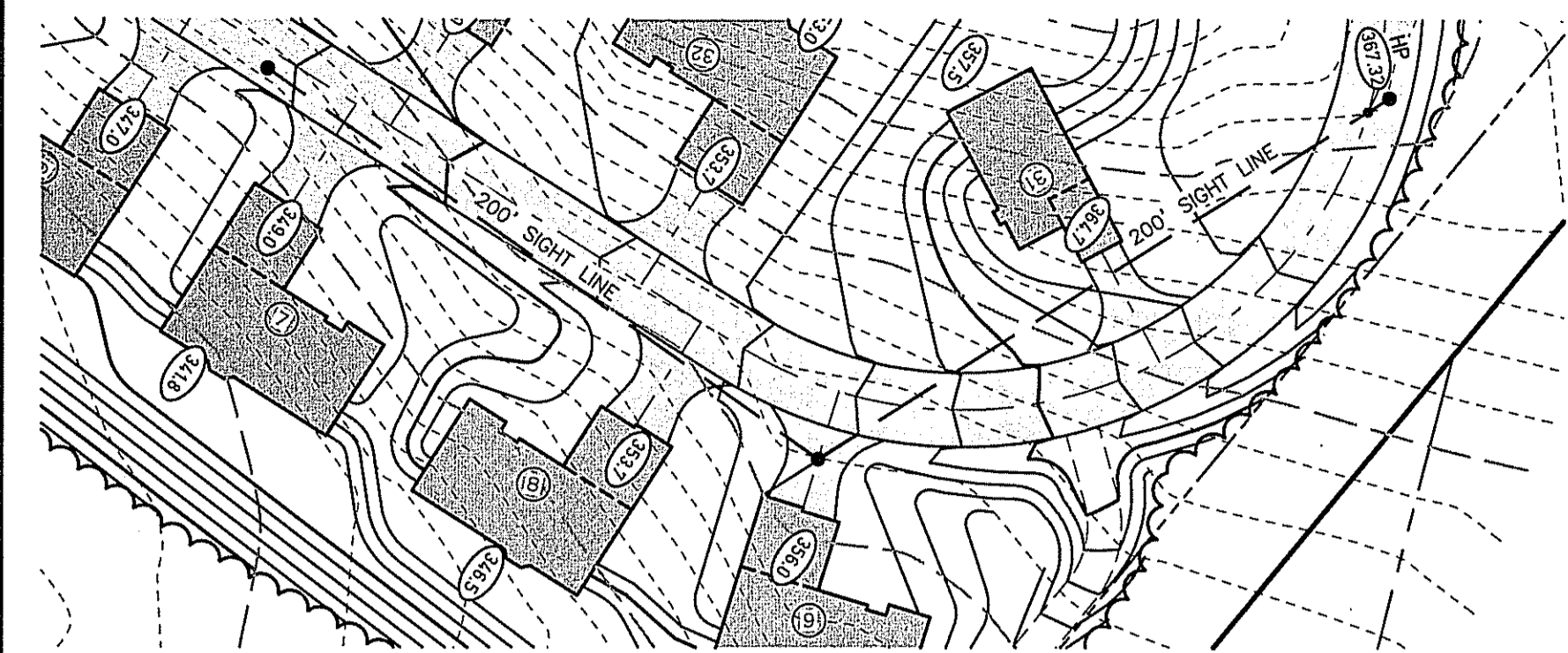
PROJECT NO. 1591.00
PAGE NO. 2 OF 9



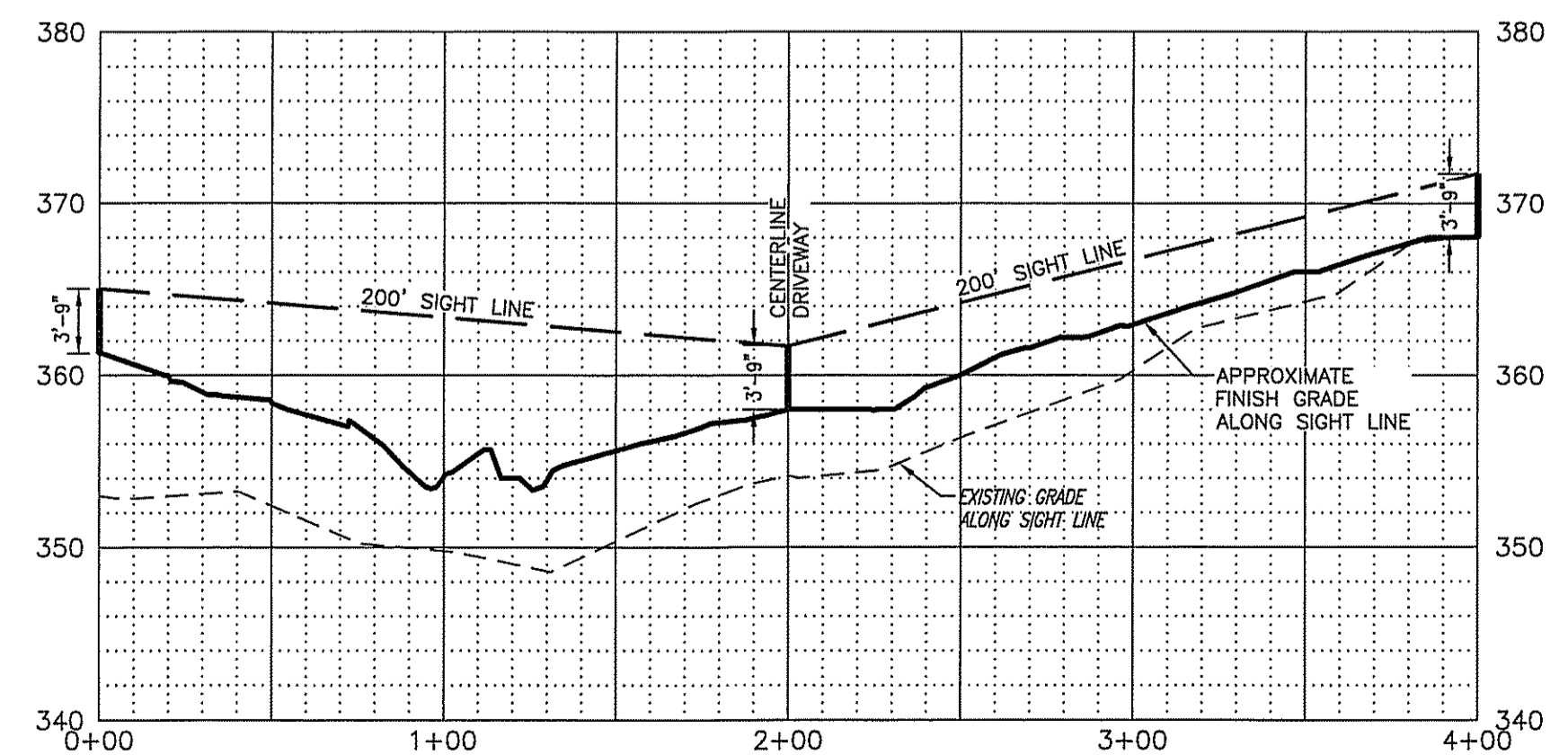
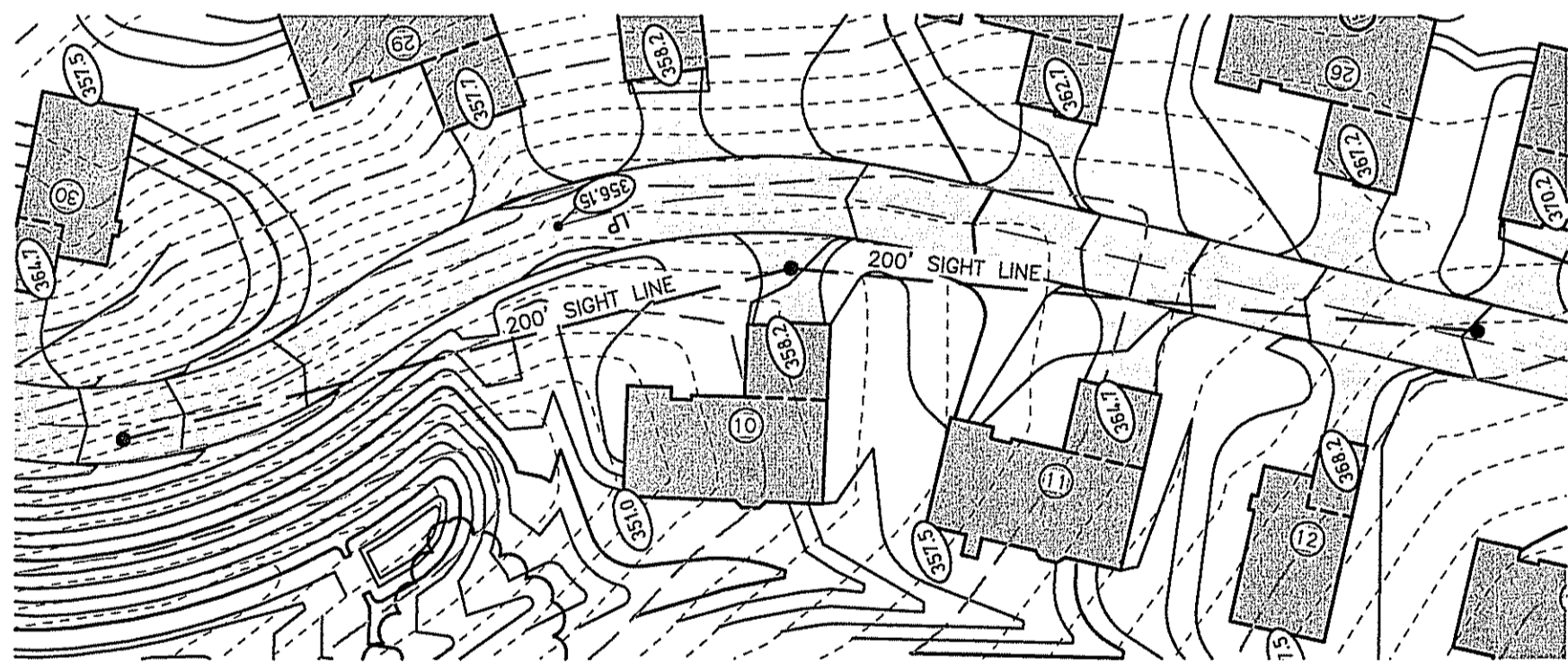
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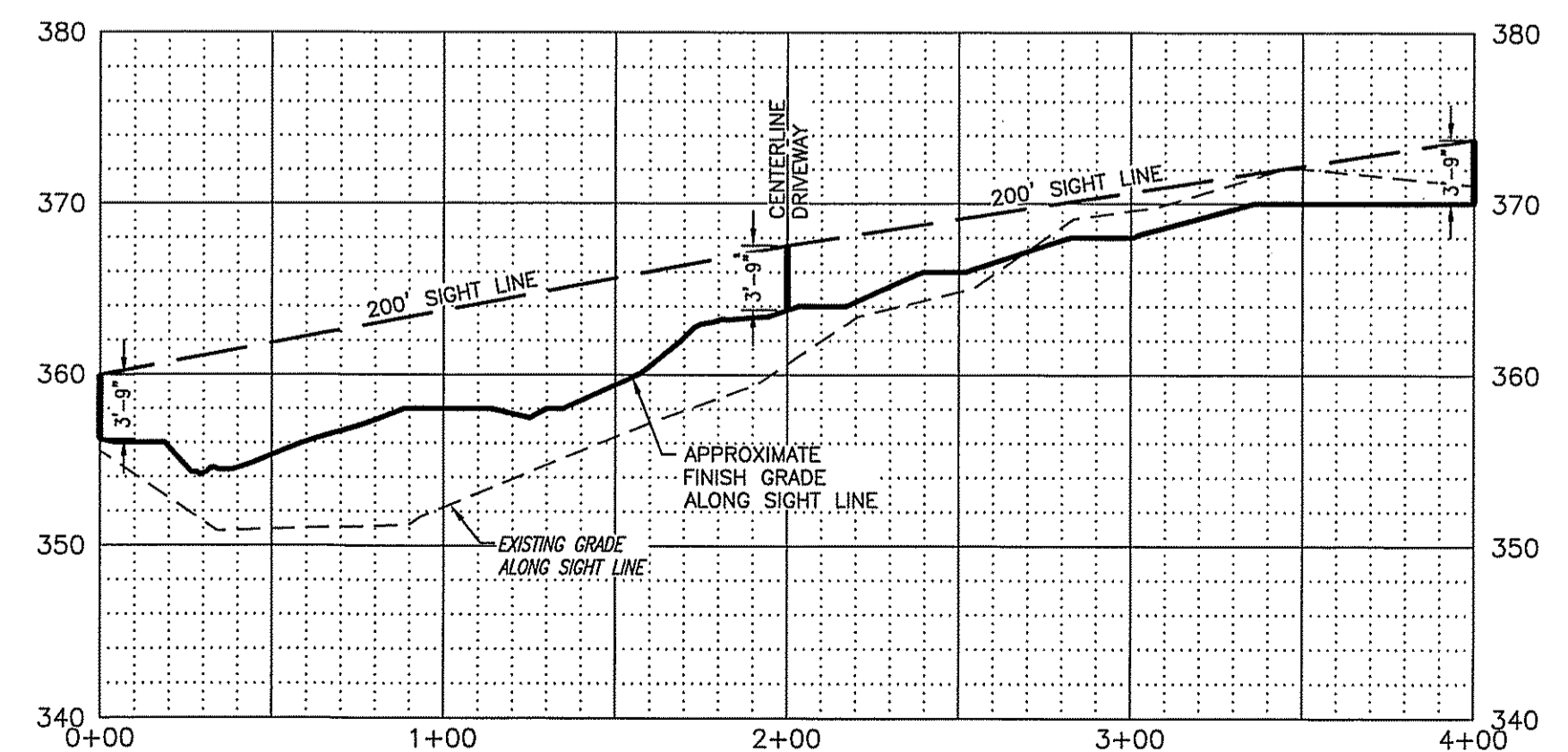
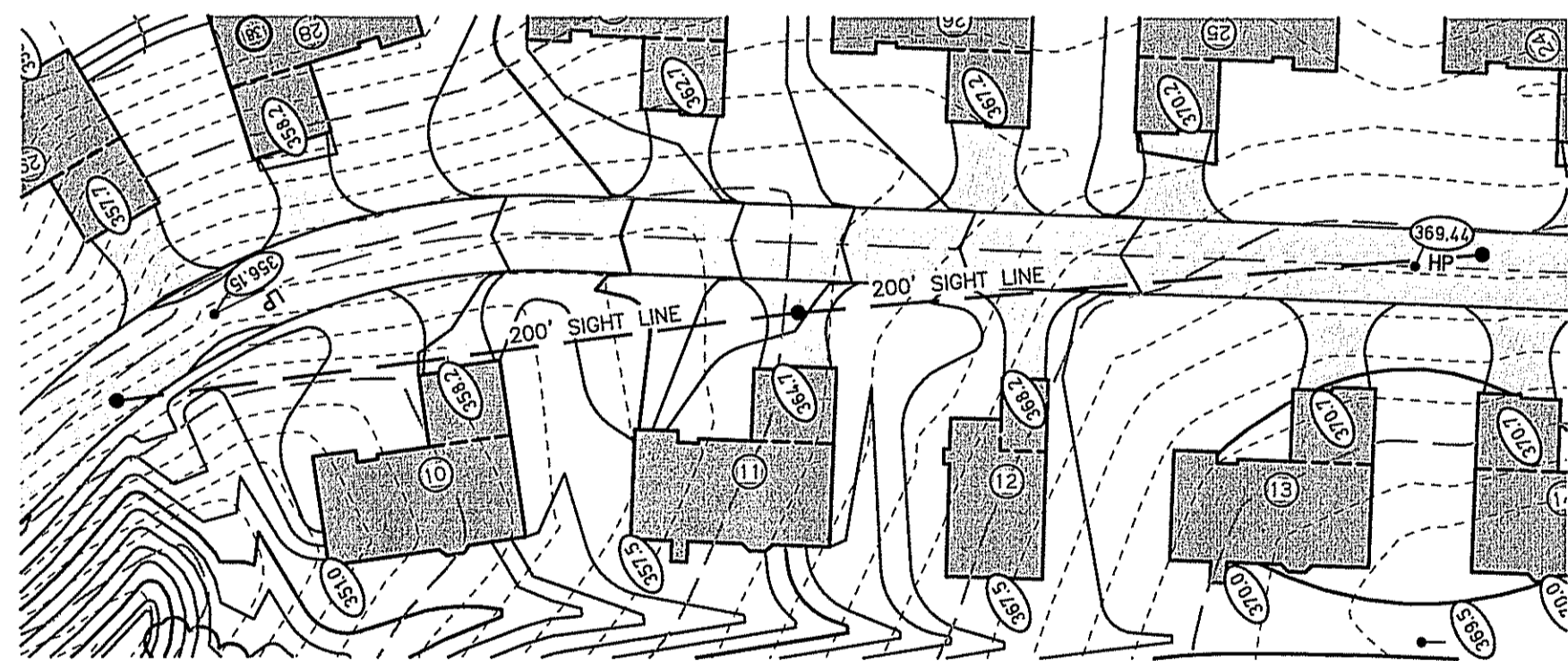
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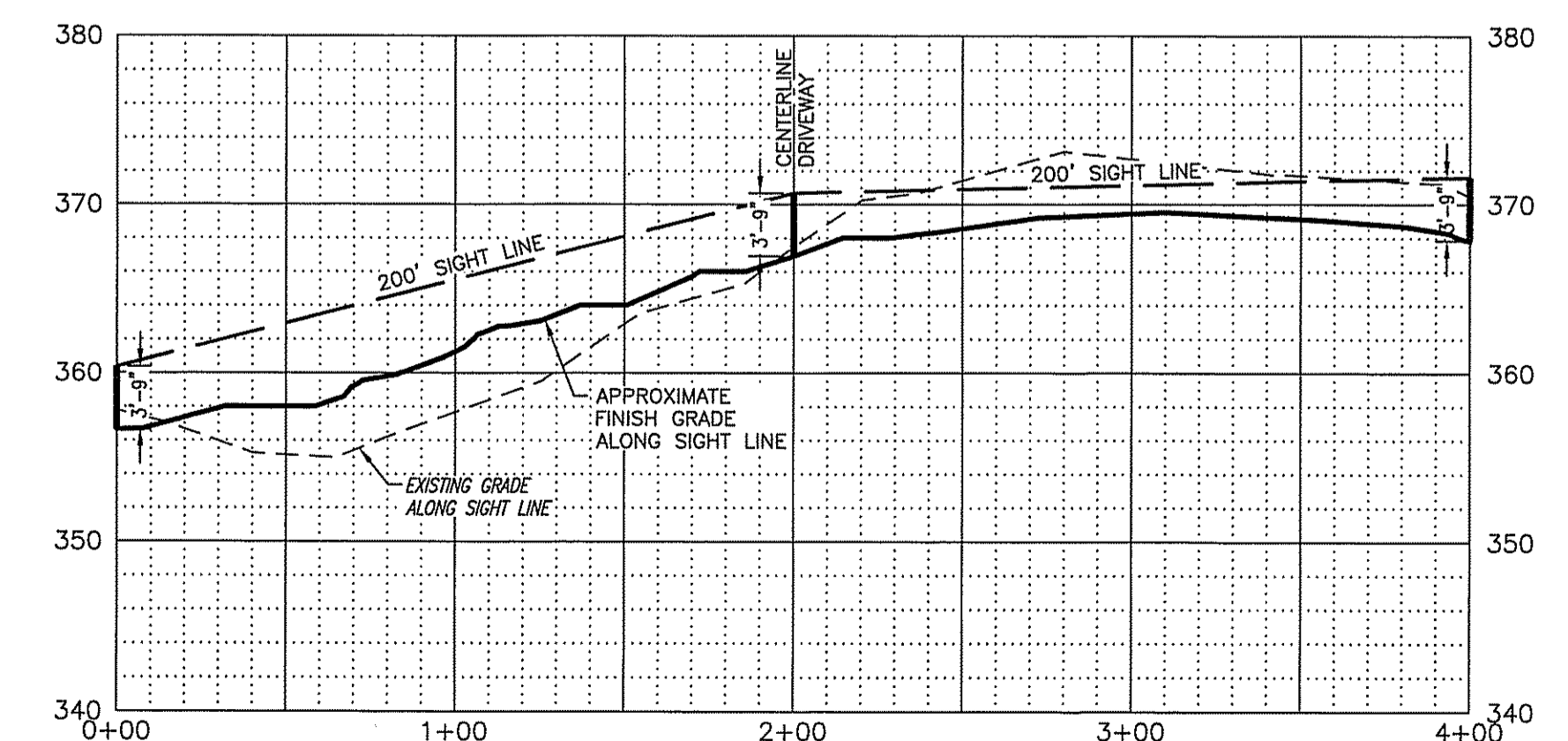
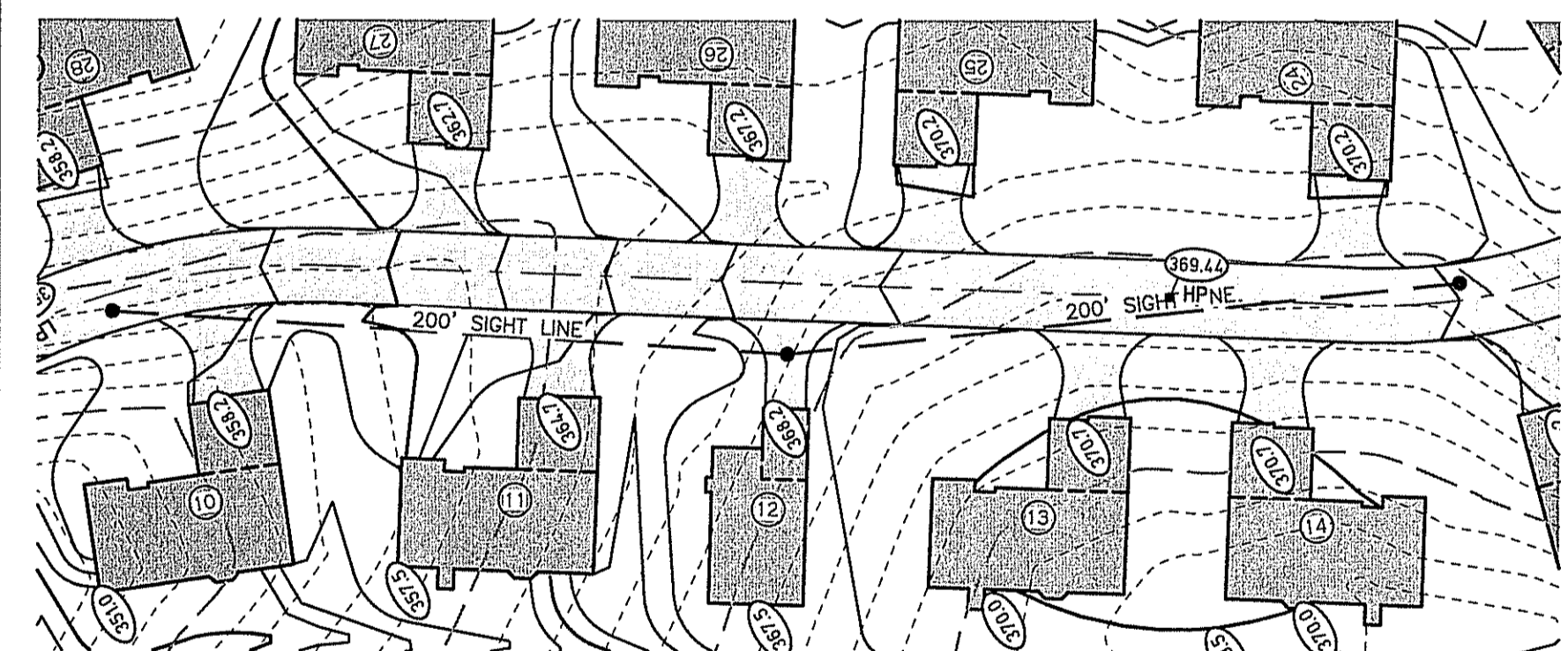
UNIT 9



UNIT 10



UNIT 11

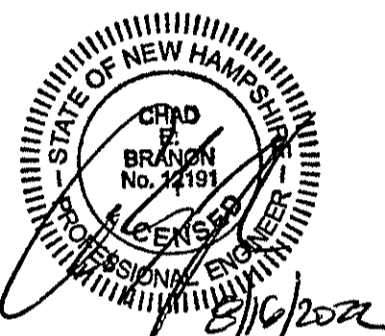
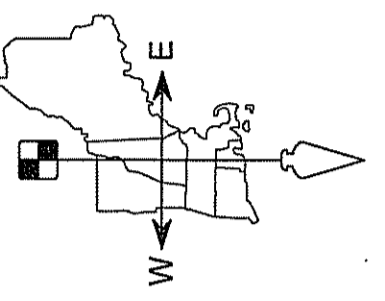


UNIT 12

Surveying & Engineering & Land Planning & Permitting & Septic Designs

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REV	DATE	DESCRIPTION	DR	CK
A	9/25/21	PER 9/16/21 ENGINEERING REVIEW	DSL	NRC
B	6/27/22	PER PLANNING BOARD	DSL	NRC

RAISANEN HOMES ELITE, LLC
P.O. BOX 748
MOSHUA, NH 03061-0748

TODDY BROOK INVESTMENTS, LLC
PLANS ISSUED FOR:
MUNICIPAL REVIEW

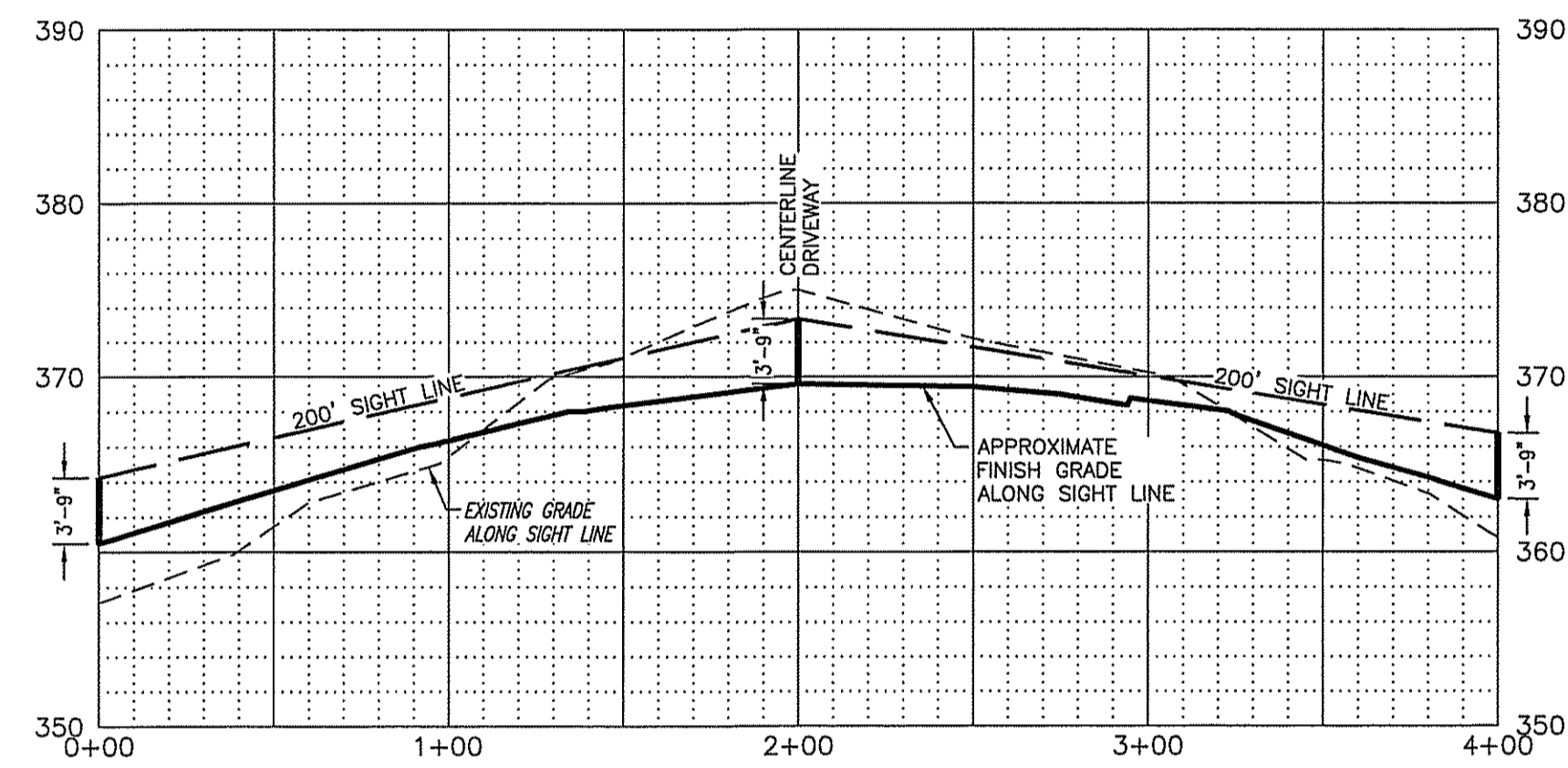
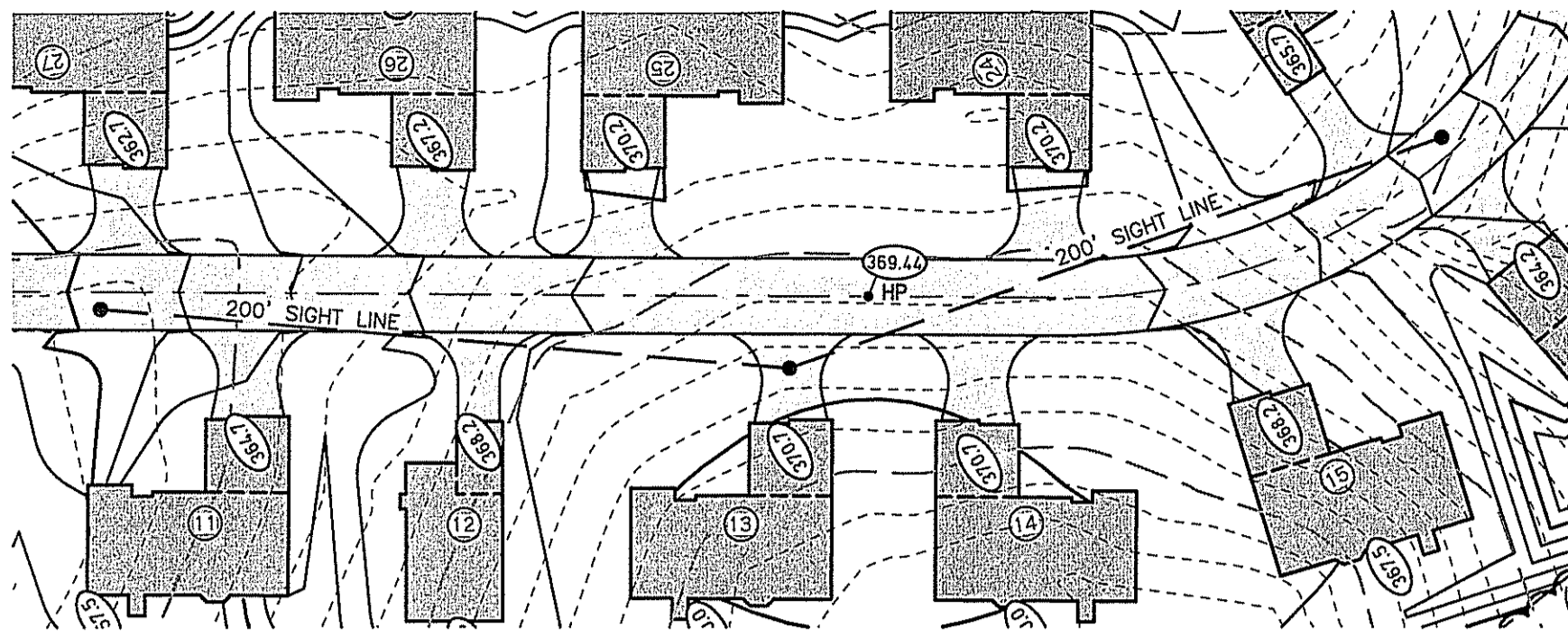
TAX MAP 41, LOTS 25, 28, 44
HOLLIS, NEW HAMPSHIRE
SCALE: 1" = 80' HORIZ. / 10' VERT.

SIGHT DISTANCE PLAN & PROFILES - UNITS 7-12

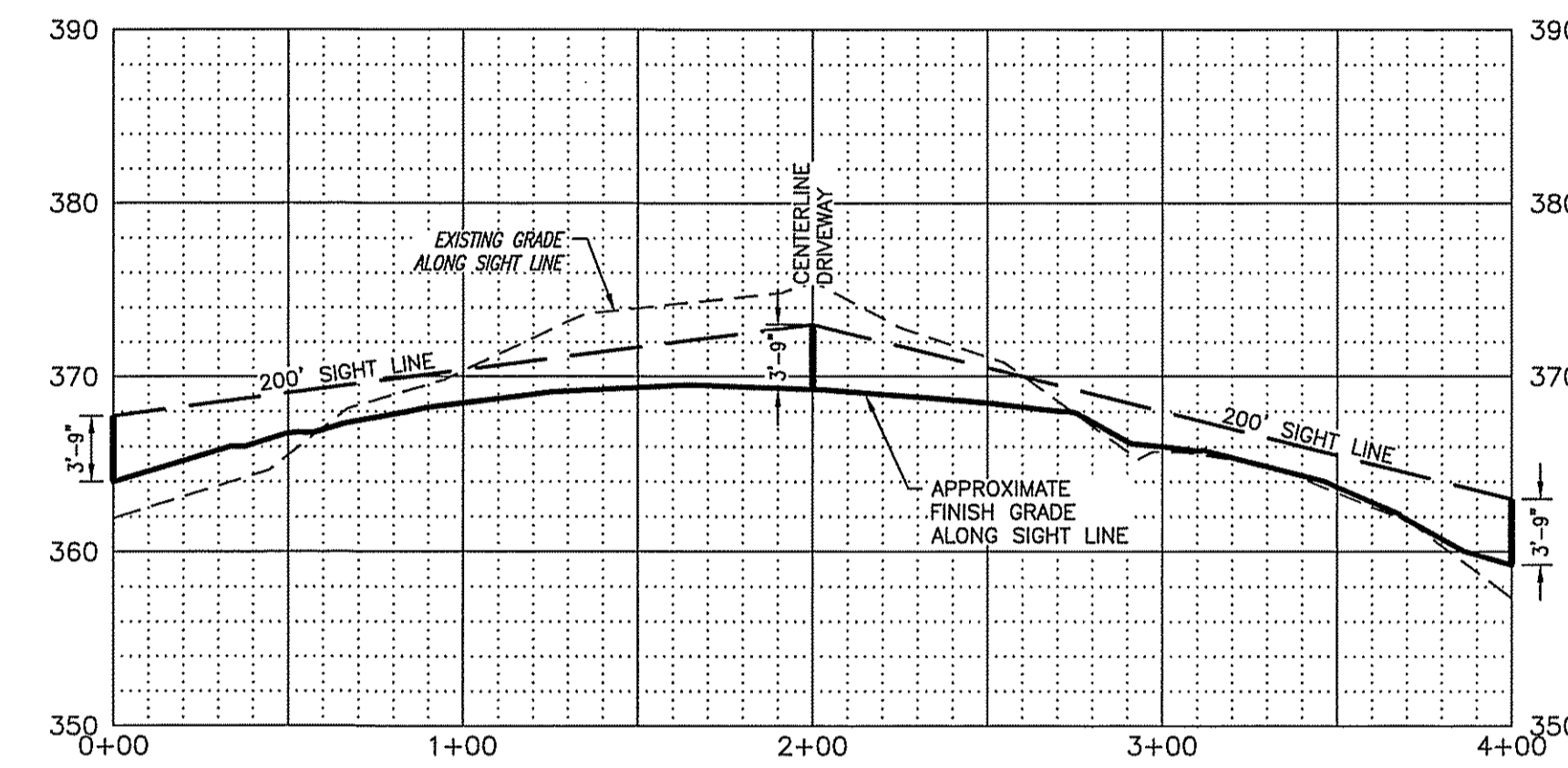
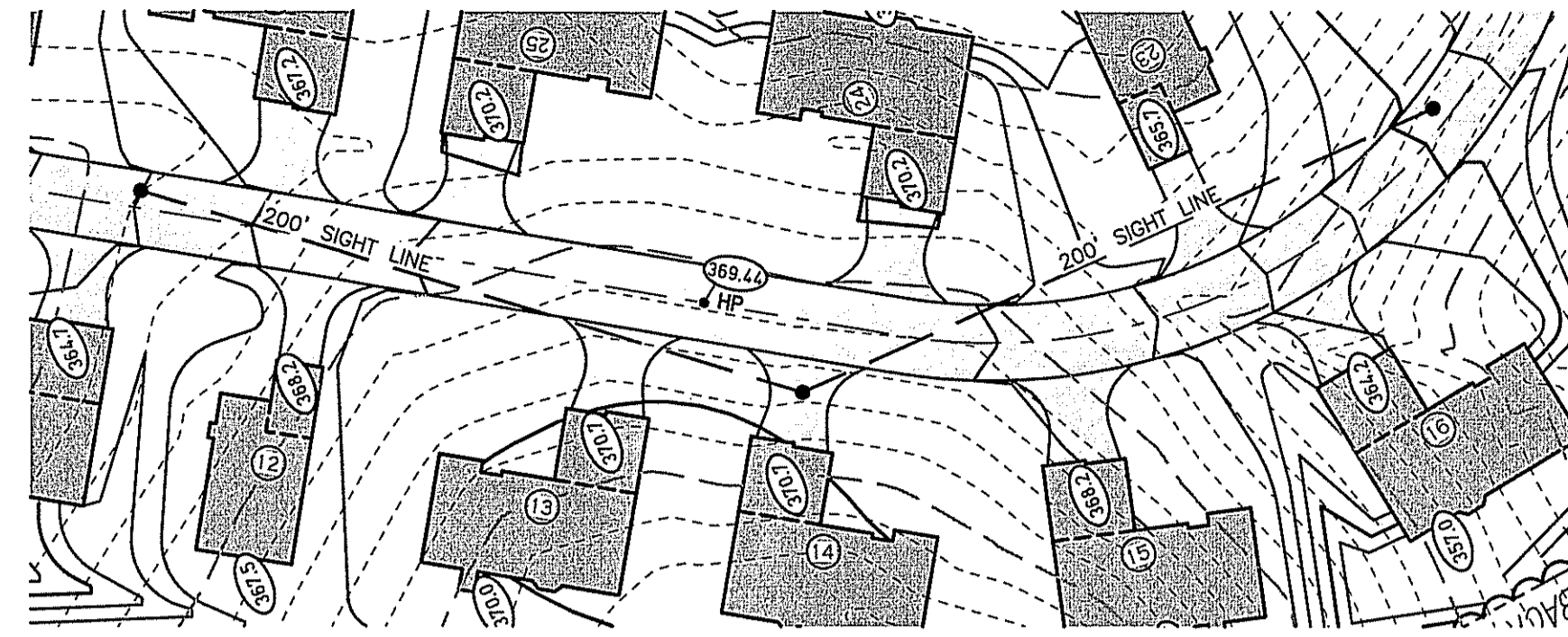
EH-3
SHEET

PROJECT NO. 1591.00
PAGE NO. 3 OF 9

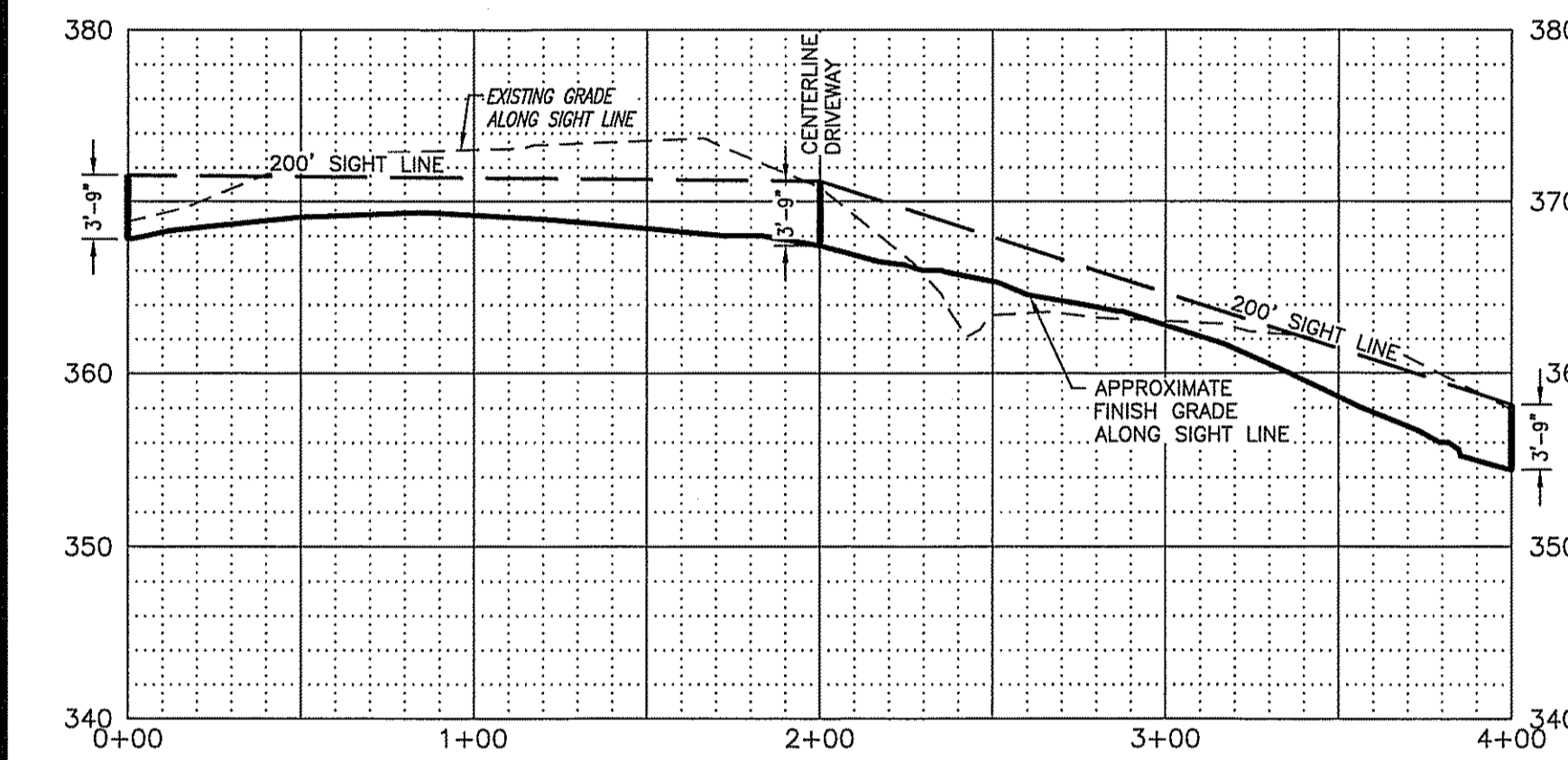
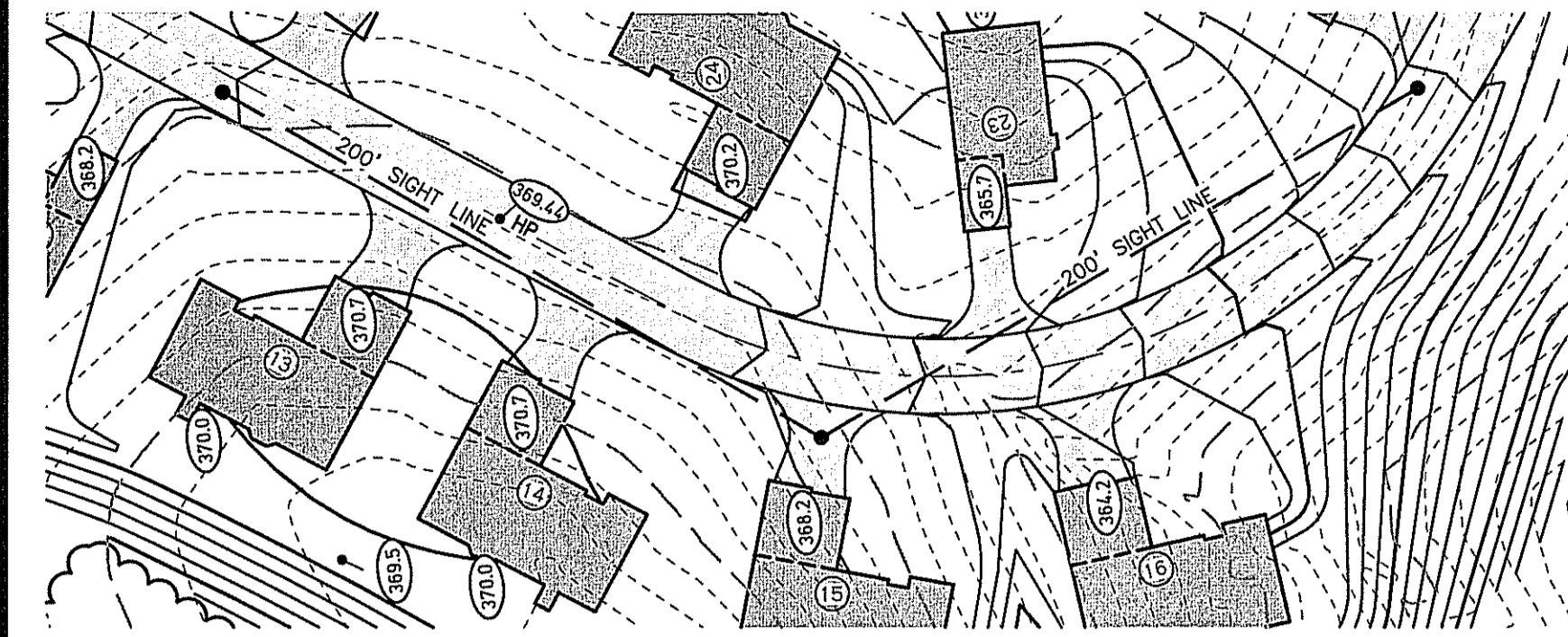
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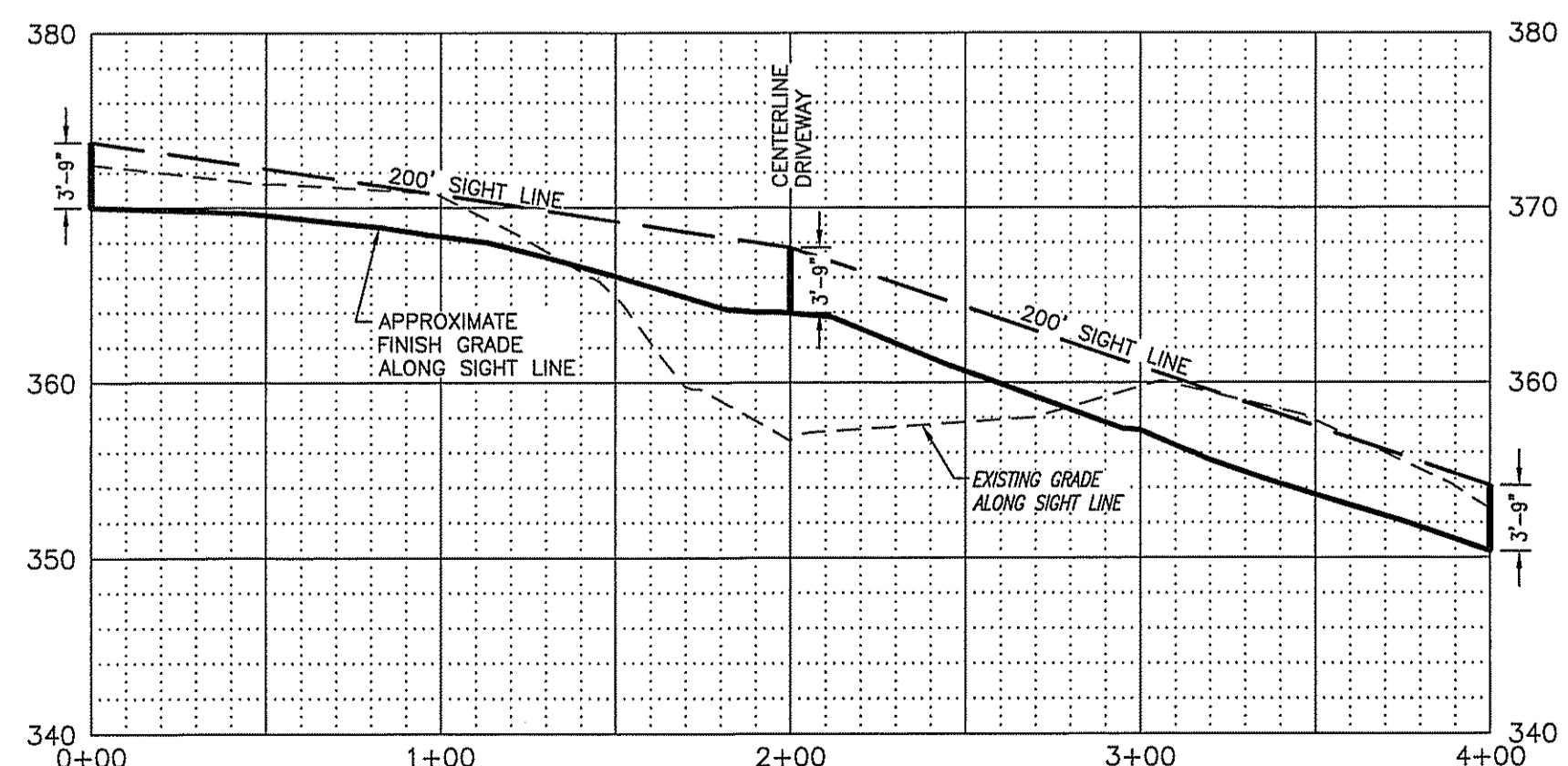
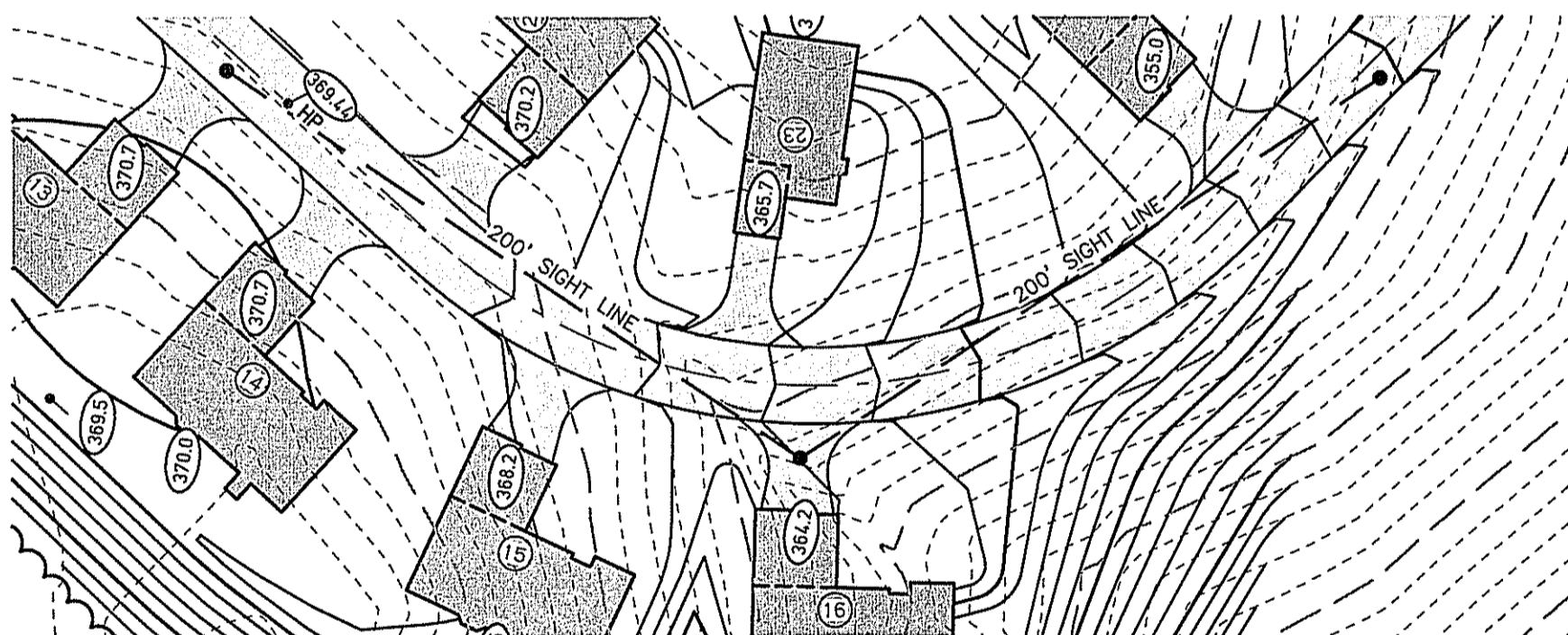
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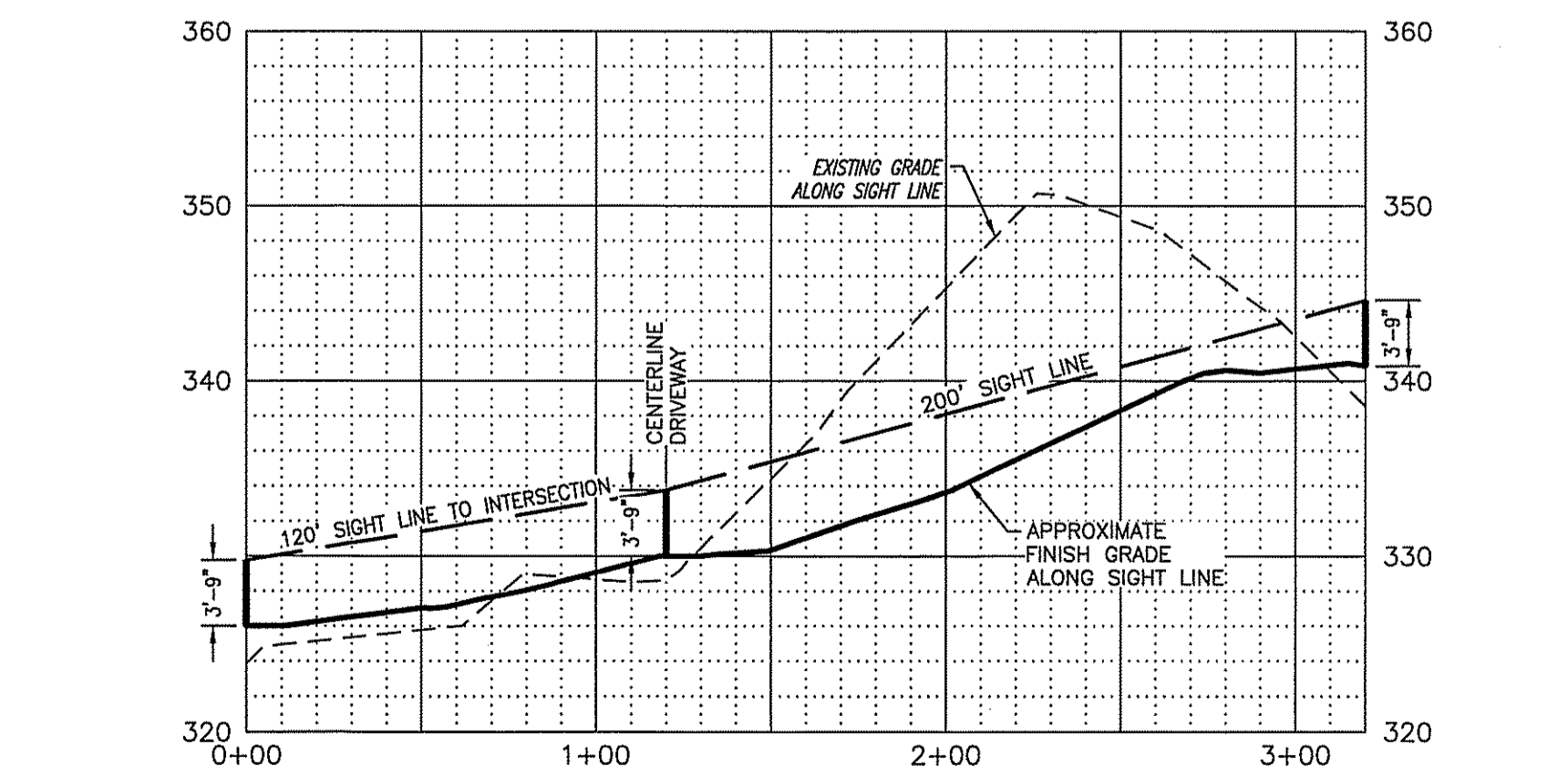
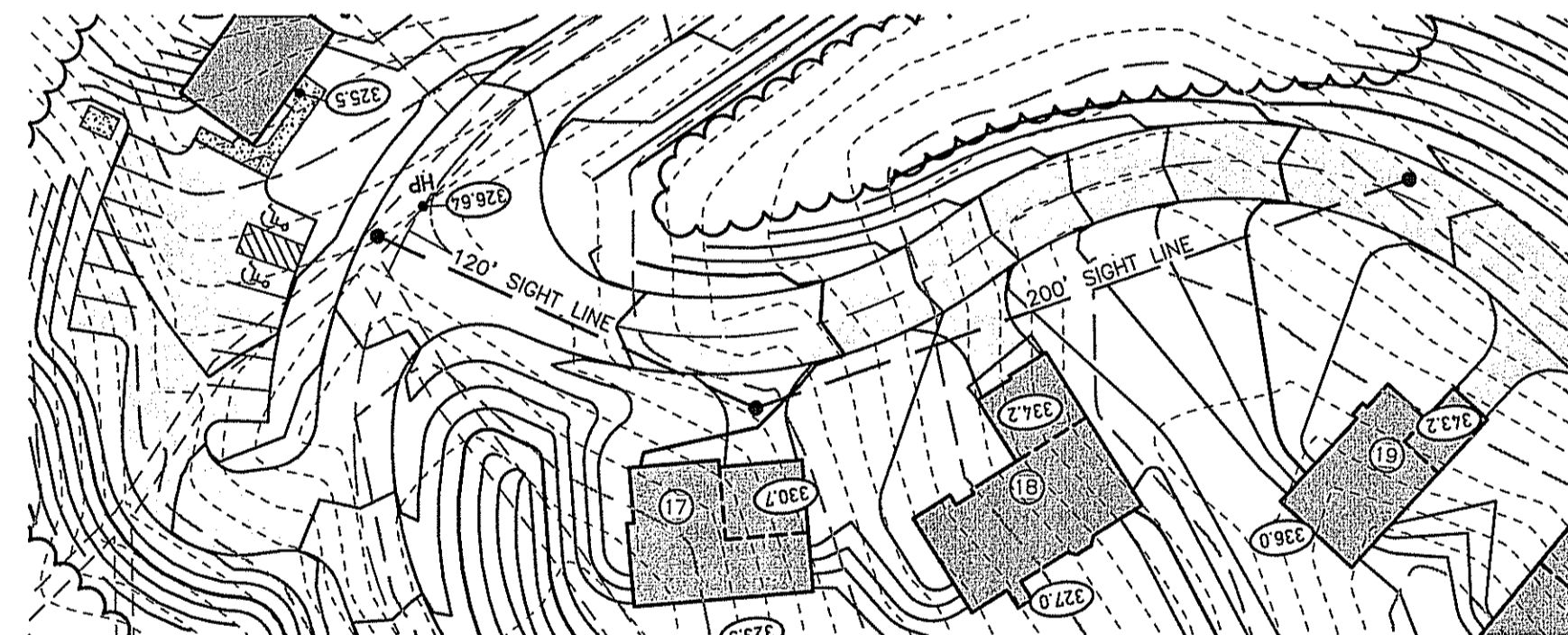
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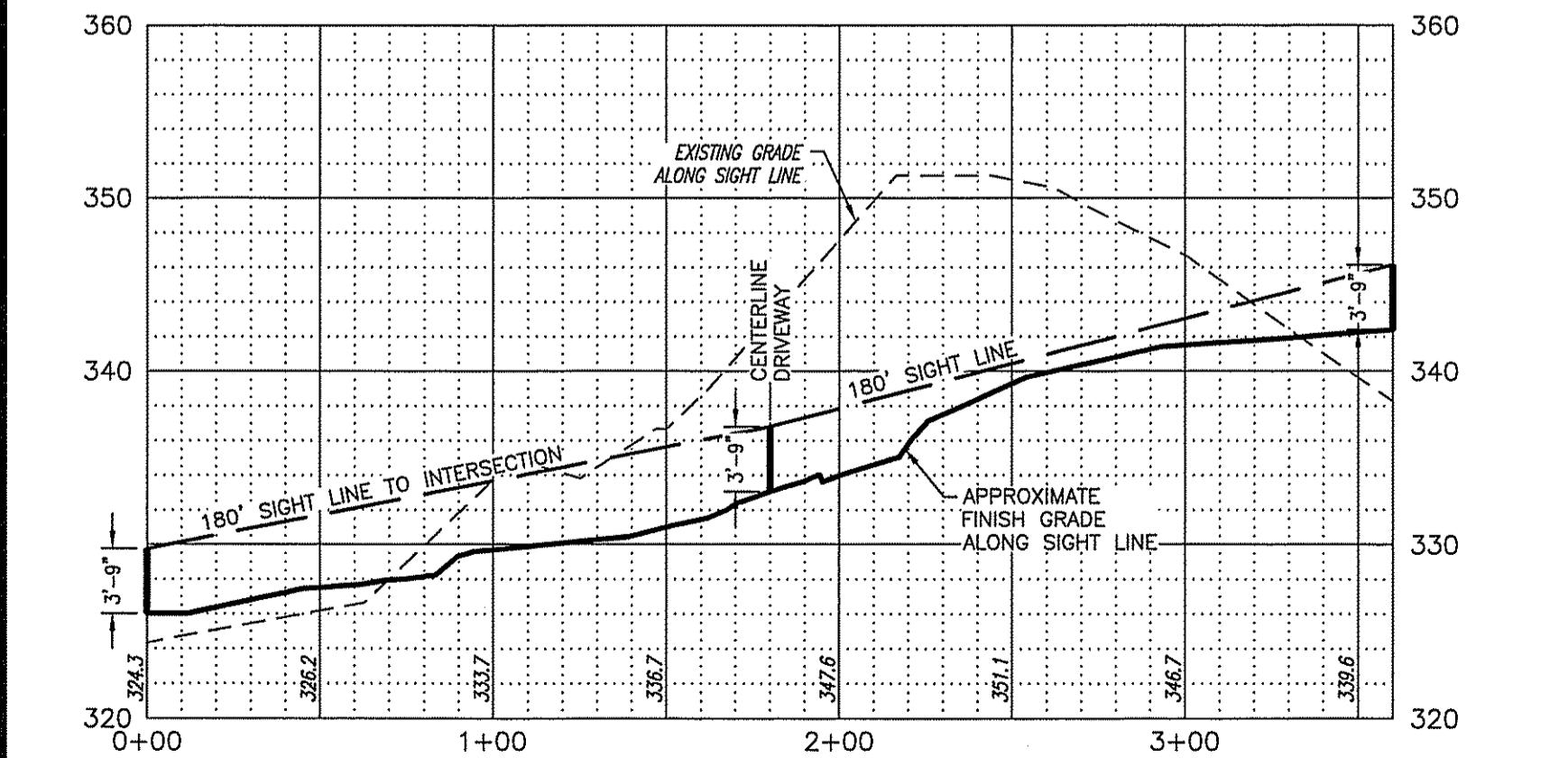
UNIT 15



UNIT 16



UNIT 17

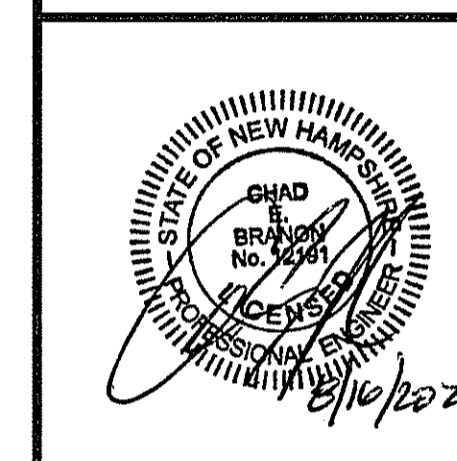


UNIT 18

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REV.	DATE	DESCRIPTION	DR	CR
A	8/25/21	PER 8/18/21 ENGINEERING REVIEW	DSL	NRC
B	8/27/22	PER PLANNING BOARD	DSL	NRC

RAISANEN HOMES ELITE, LLC
P.O. BOX 746
MILLSBORO, NH 03061-0746

TODDY BROOK INVESTMENTS, LLC

SIGHT DISTANCE PLAN & PROFILES - UNITS 13-18

PLANS ISSUED FOR:
MUNICIPAL REVIEW

TAX MAP 41, LOTS 25, 28, 44
HOLLIS, NEW HAMPSHIRE

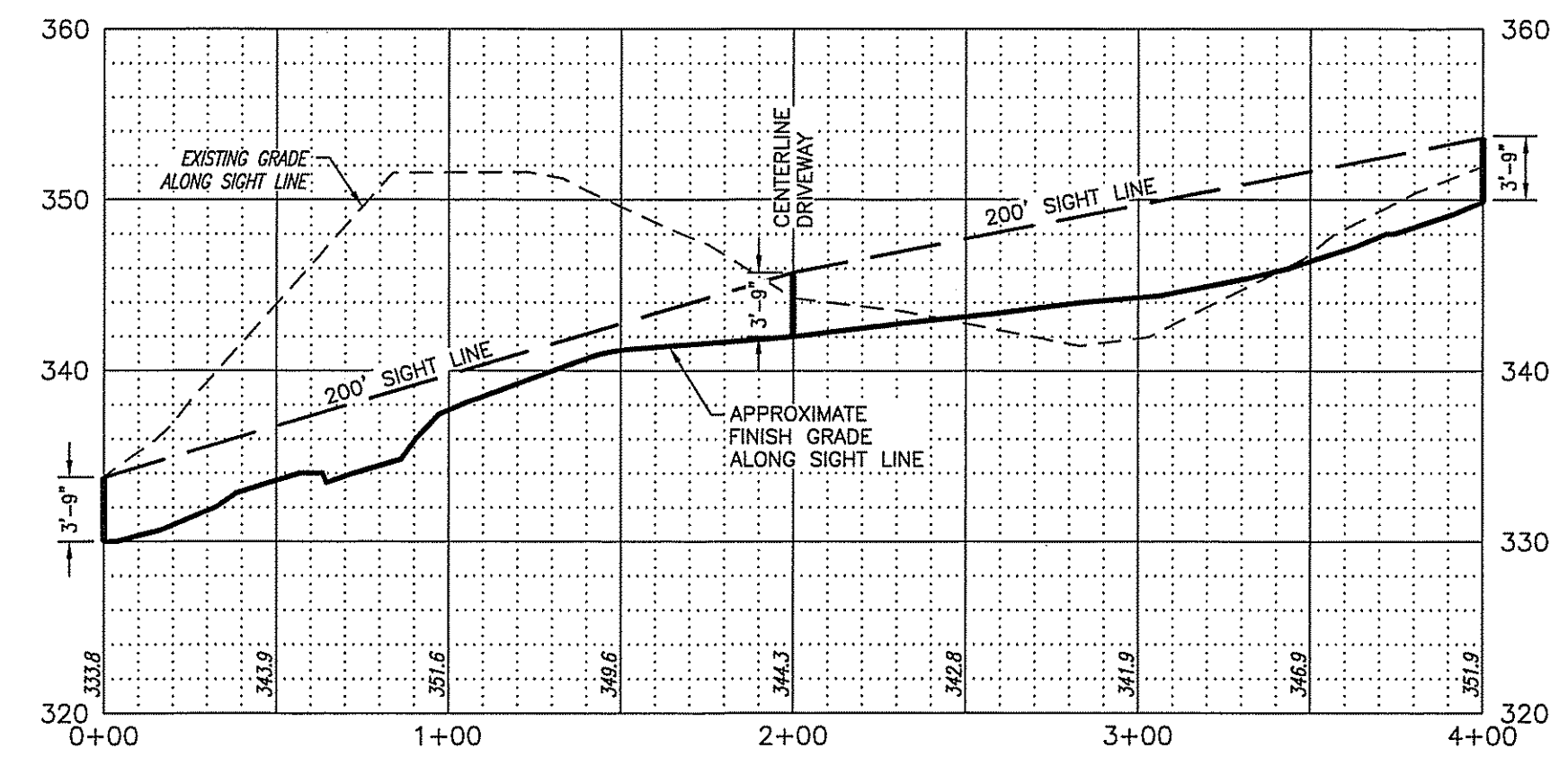
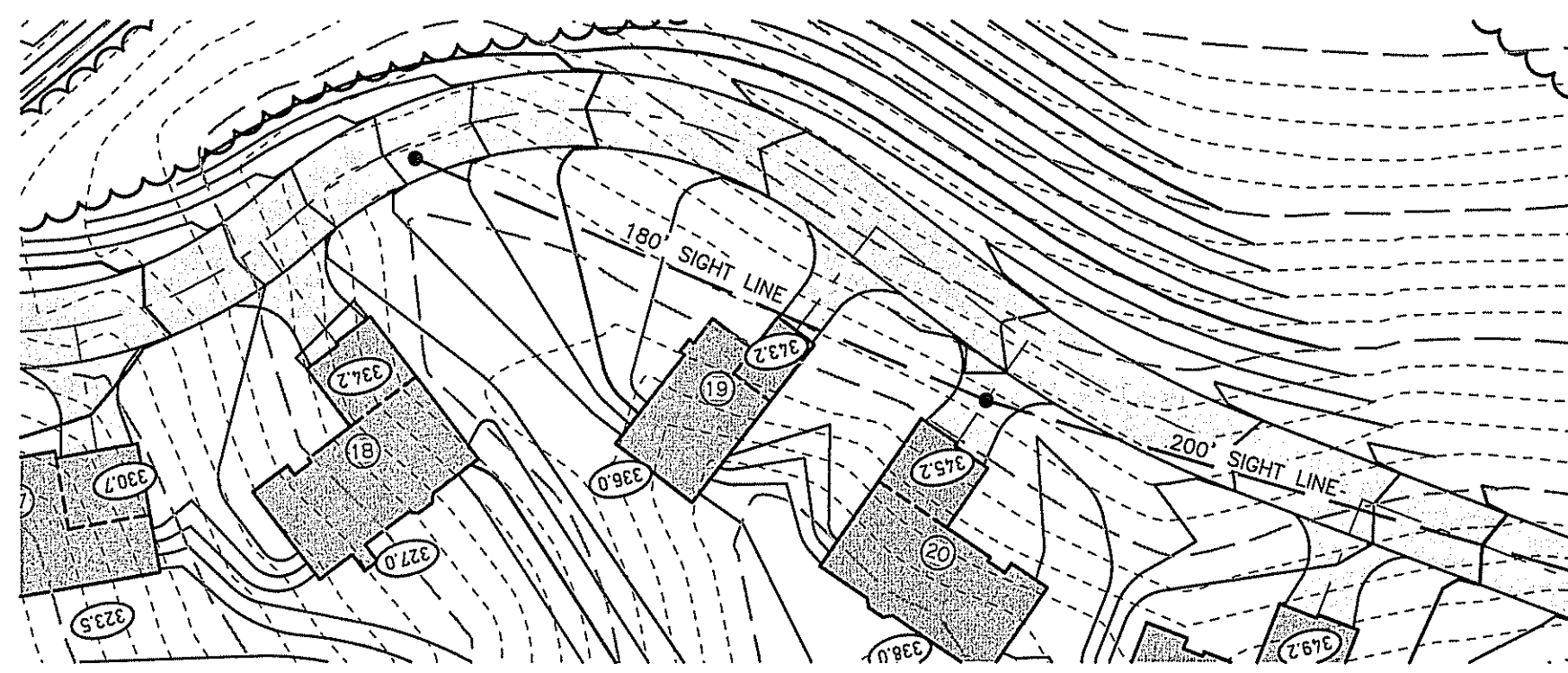
JULY 27, 2021

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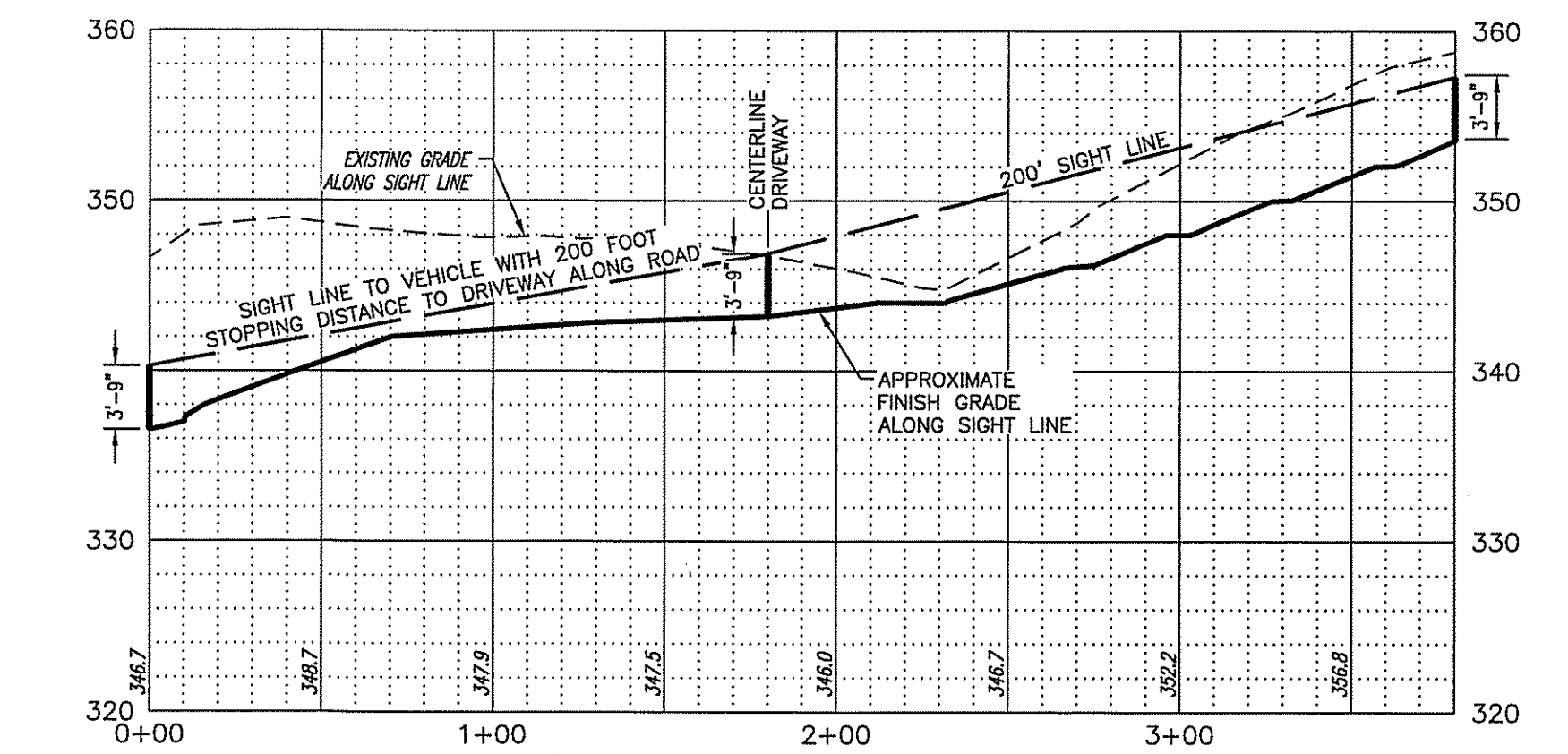
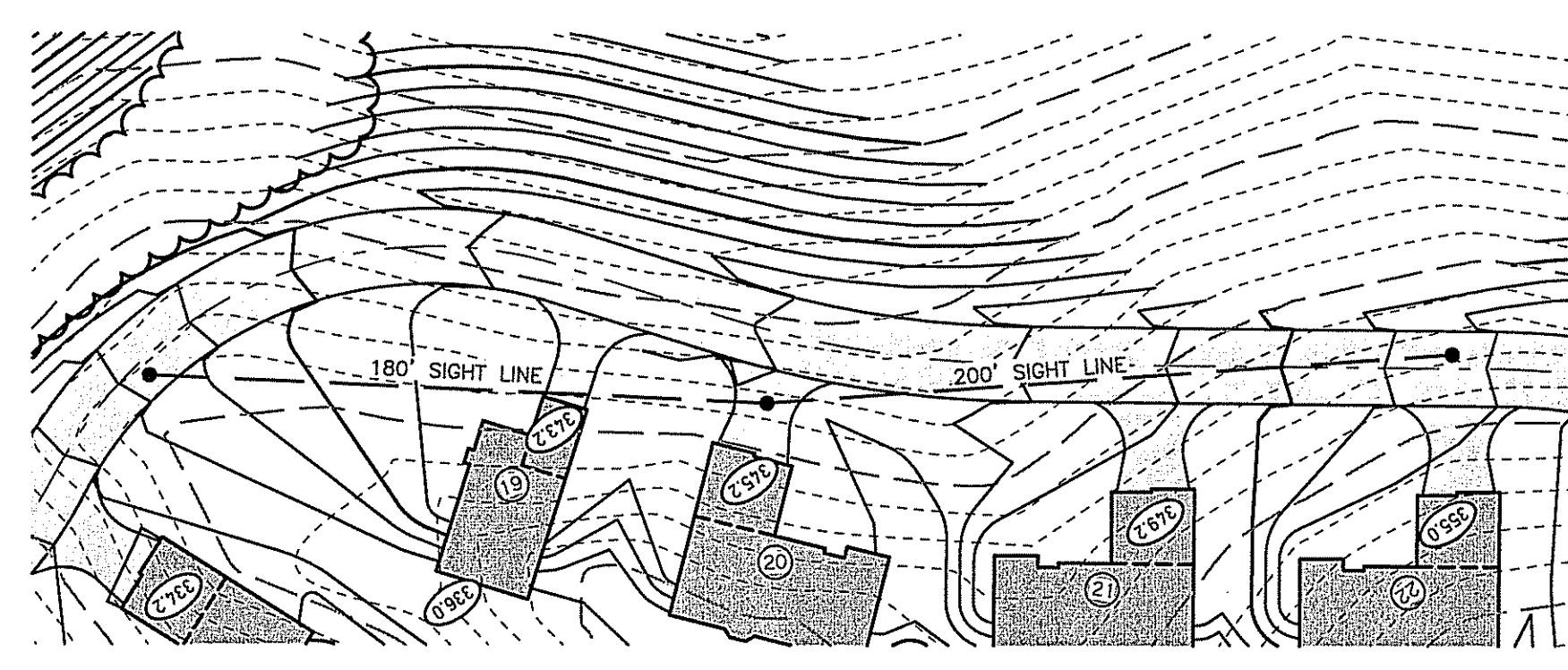
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EH-4
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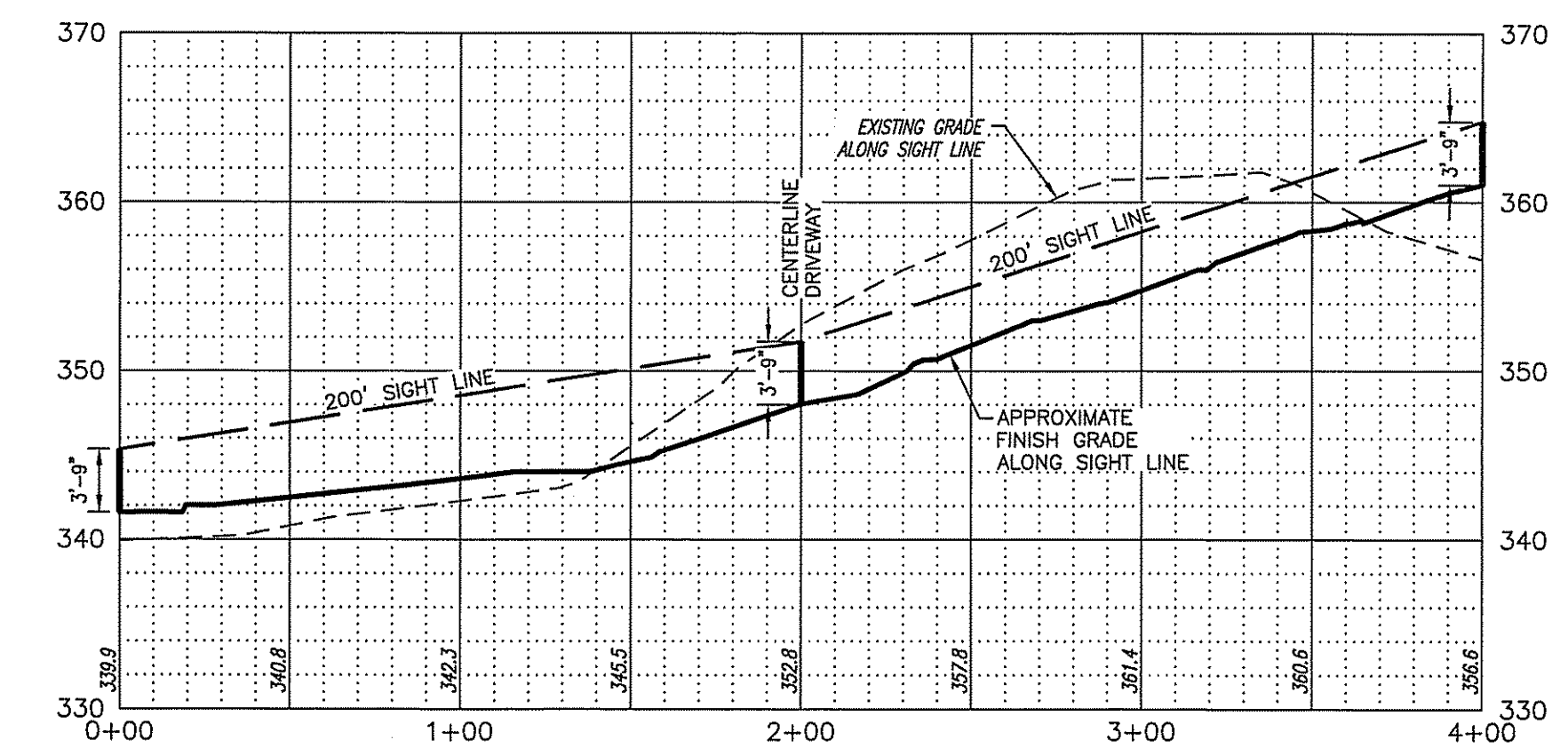
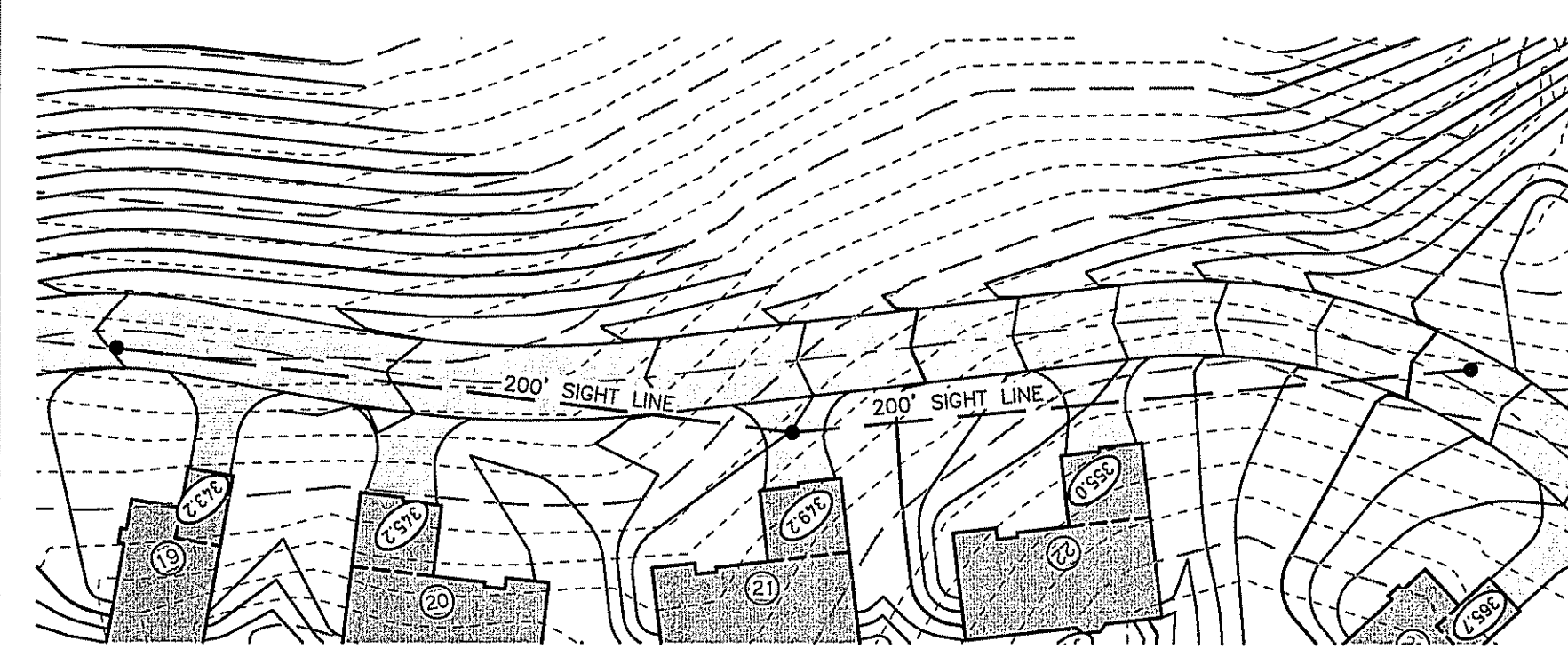
PROJECT NO. 1591.00
PAGE NO. 4 OF 9



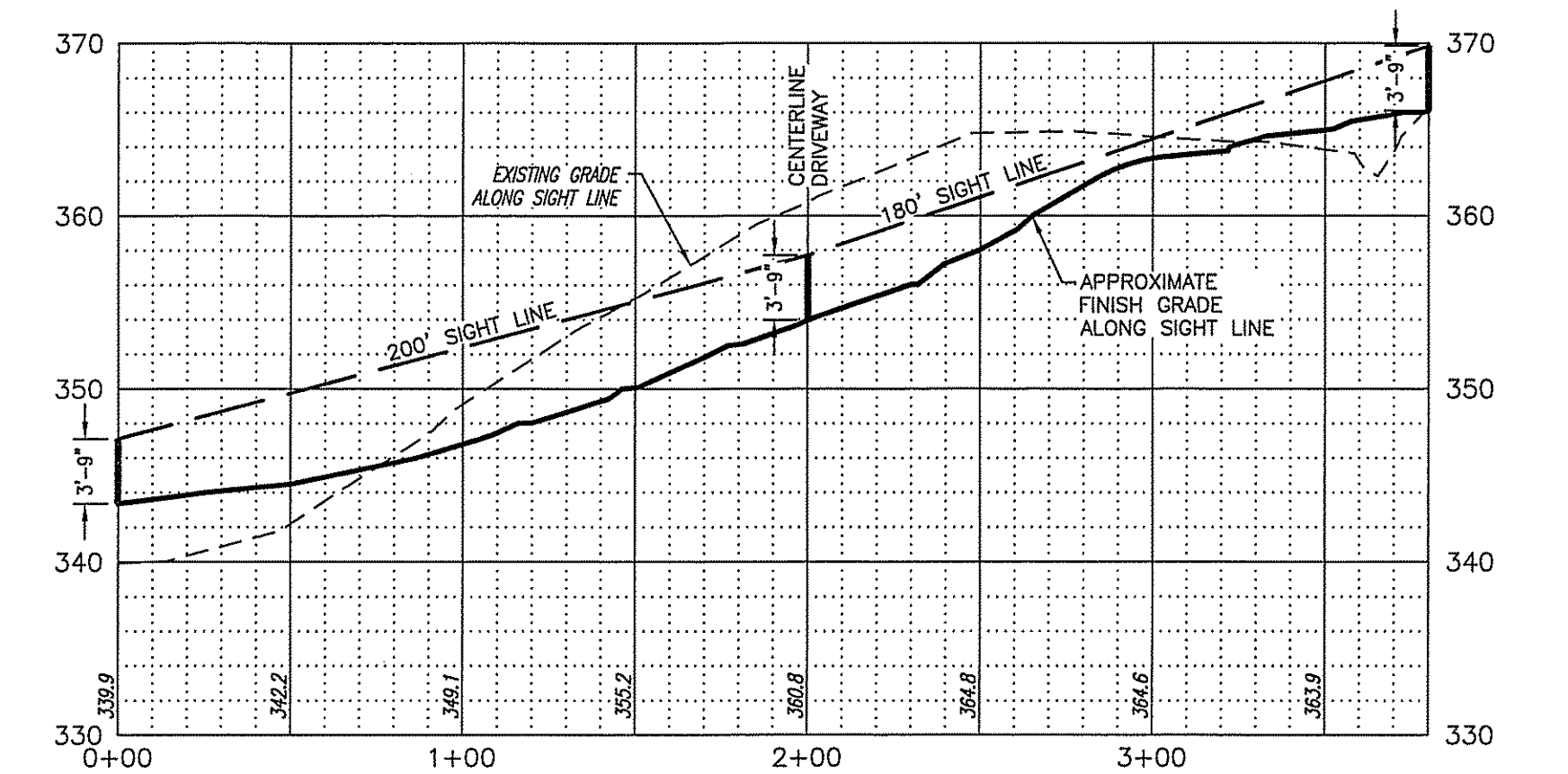
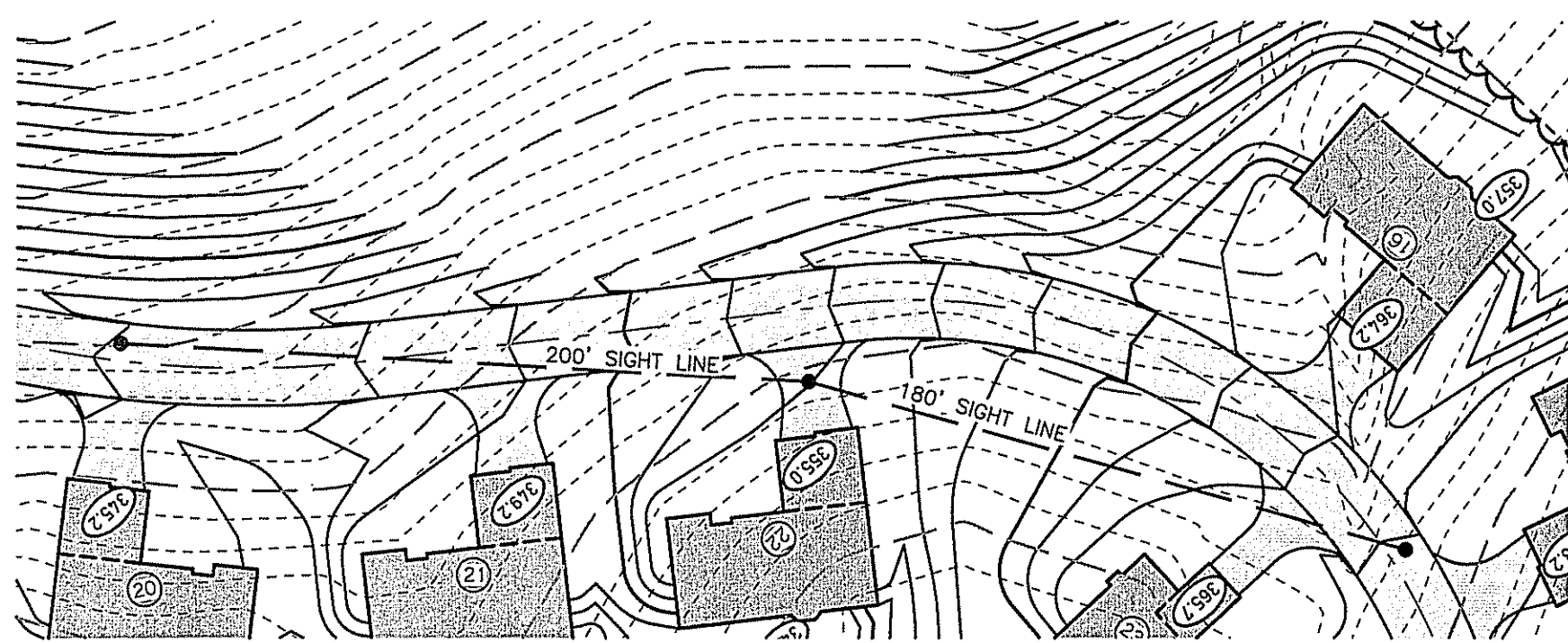
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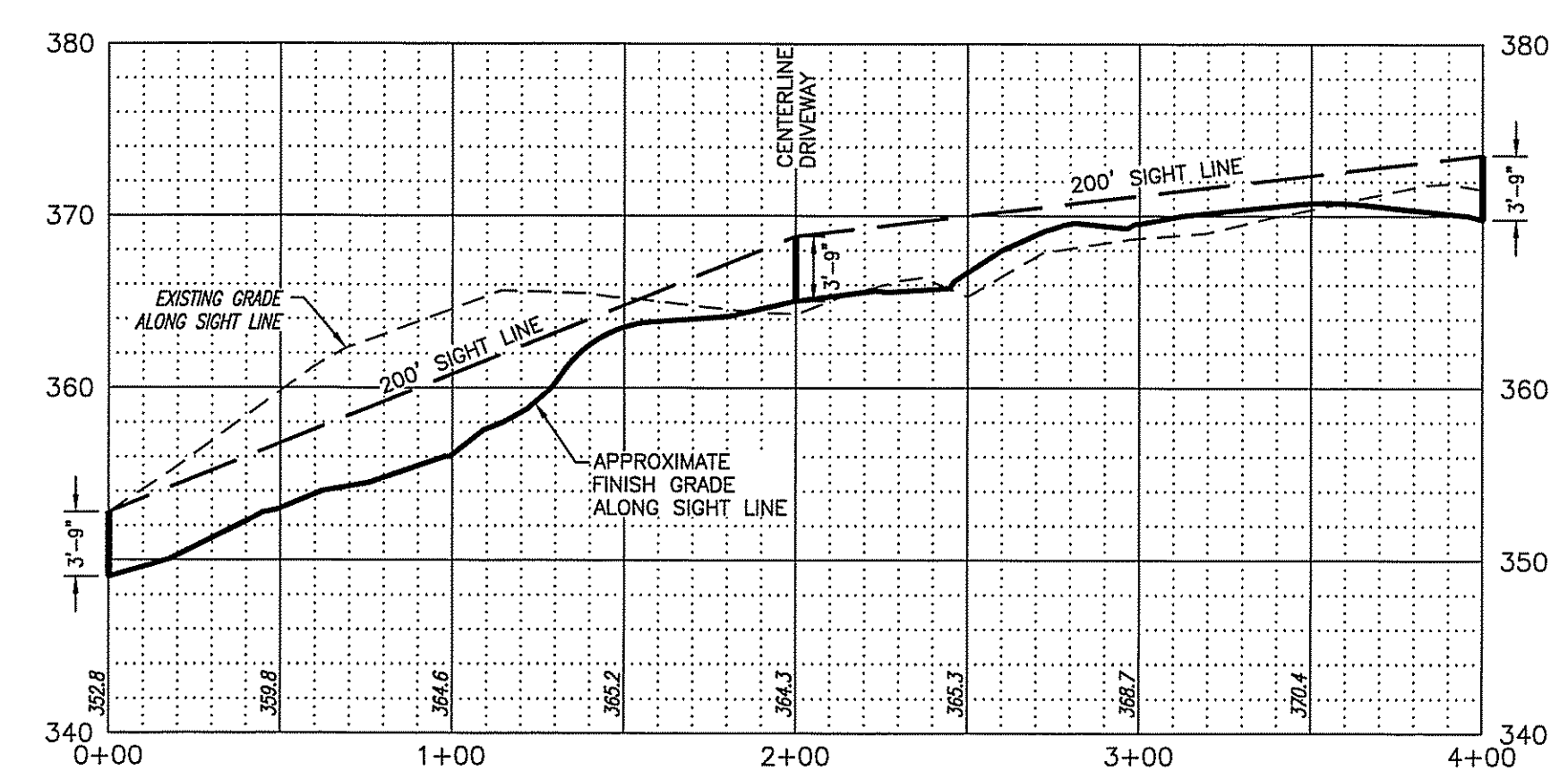
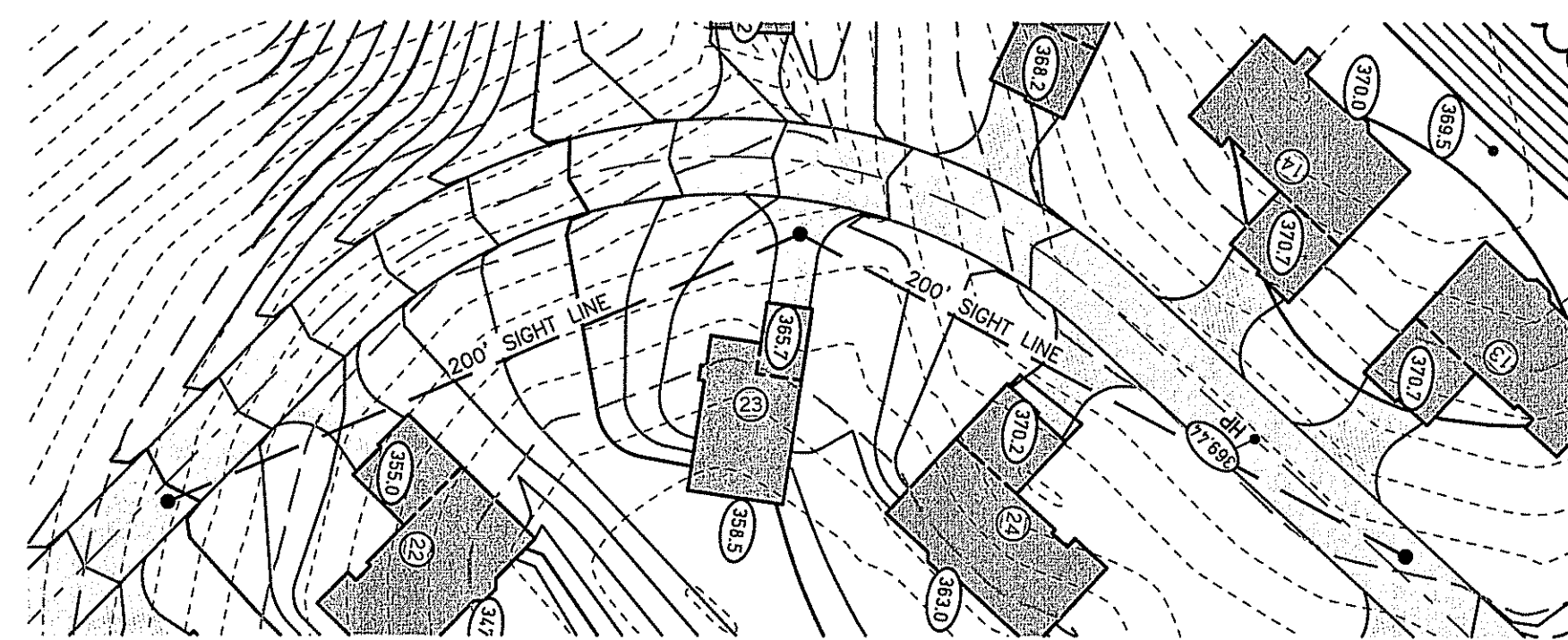
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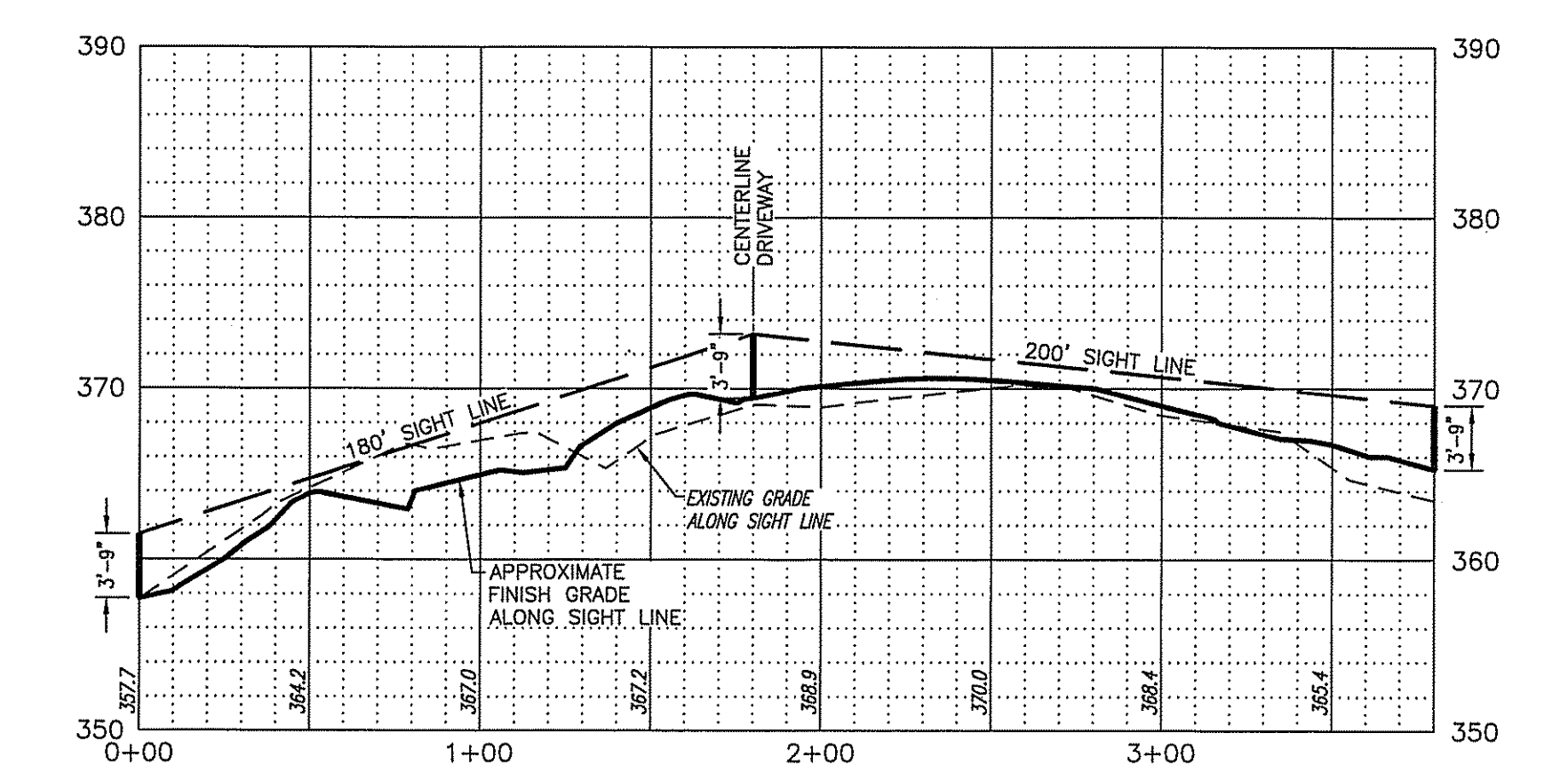
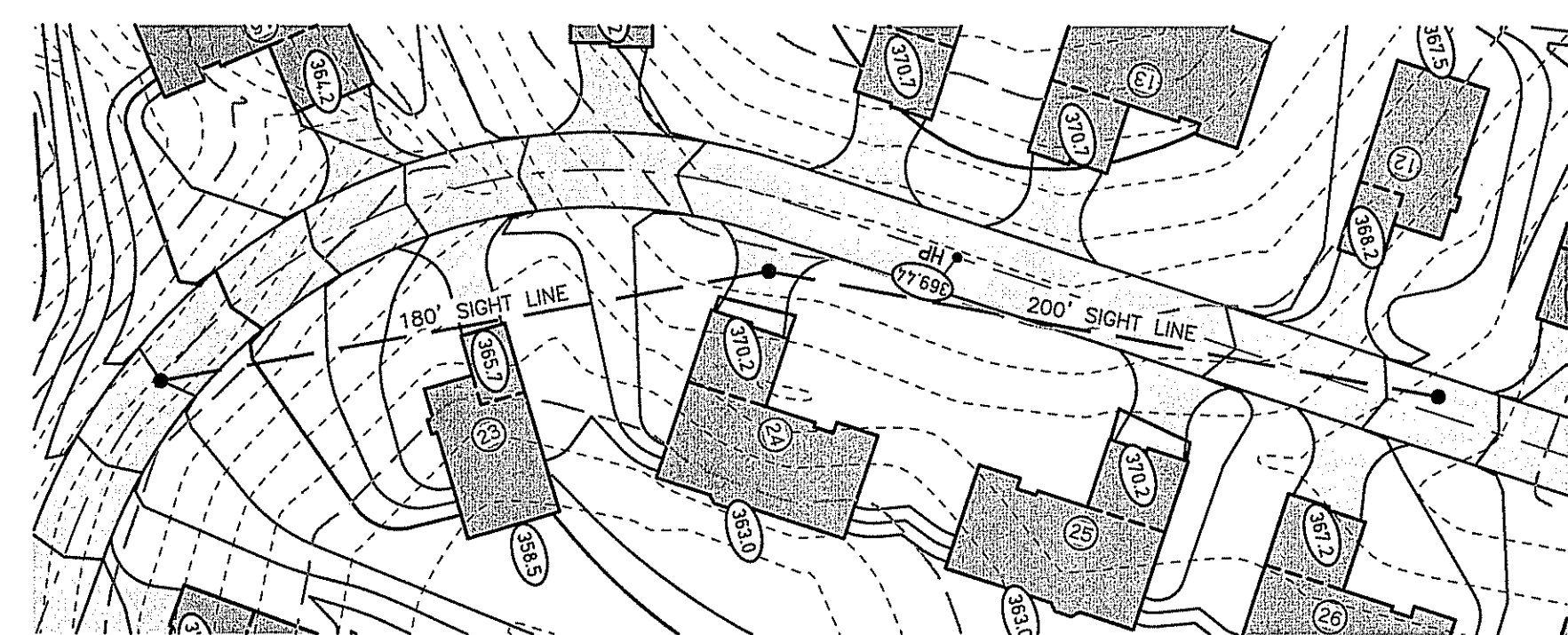
UNIT 21



UNIT 22



UNIT 23

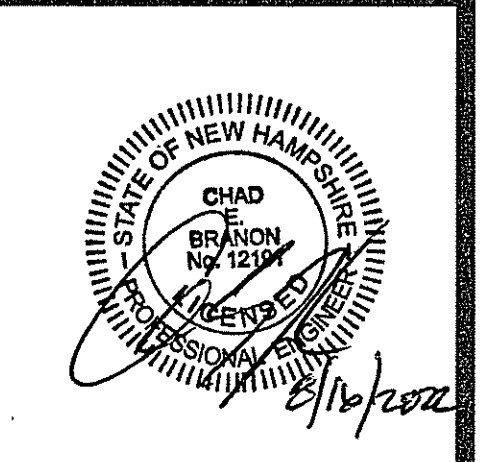


UNIT 24

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REV.	DATE	DESCRIPTION	DR	CK
B	6/27/22	PER PLANNING BOARD	DSL	NRC
A	8/25/21	PER 8/16/21 ENGINEERING REVIEW	DSL	NRC

RAISANEN HOMES ELITE, LLC
P.O. BOX 748
NASHUA, NH 03061-0748

TODDY BROOK INVESTMENTS, LLC

PLANS ISSUED FOR:
MUNICIPAL REVIEW

TAX MAP 41, LOTS 25, 28, 44
HOLLIS, NEW HAMPSHIRE

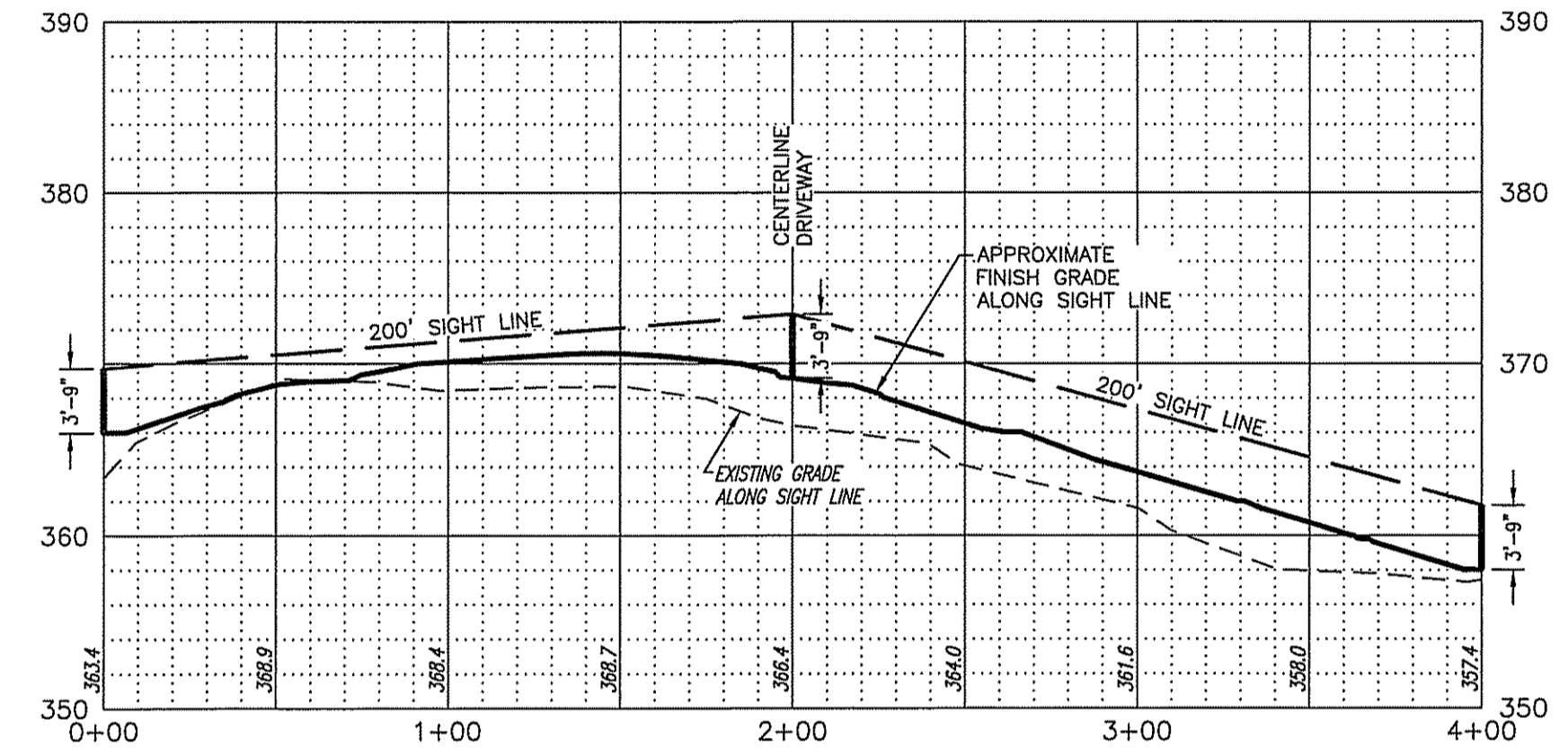
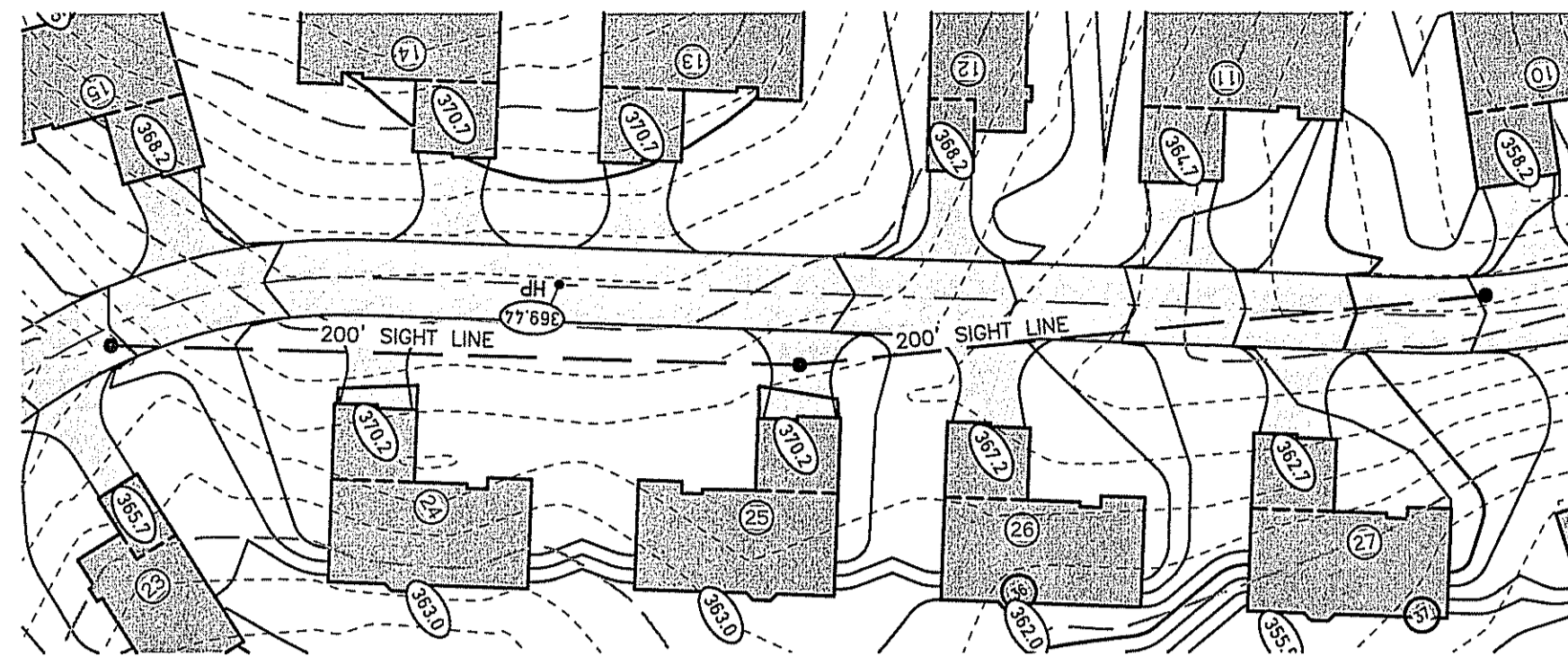
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JULY 27, 2021

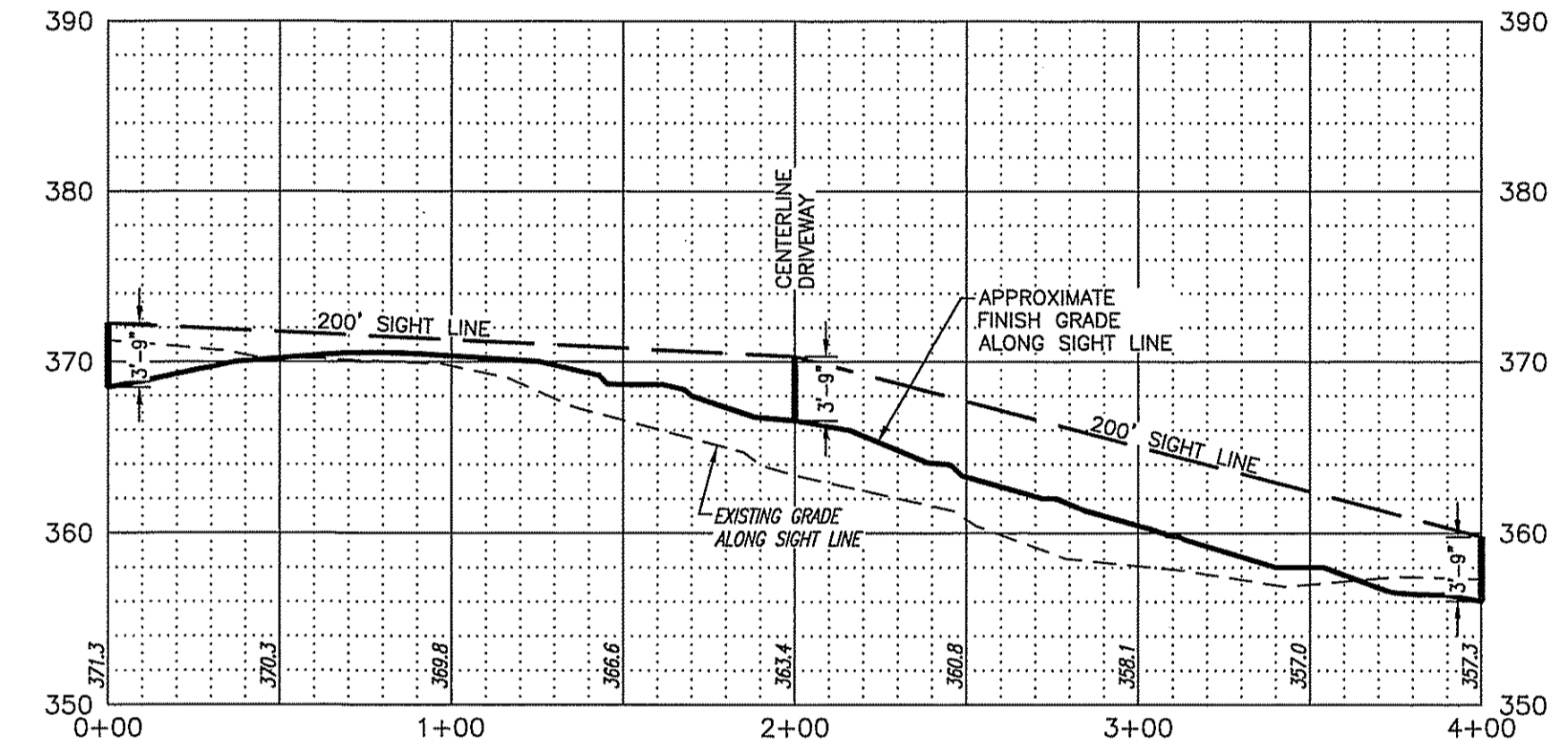
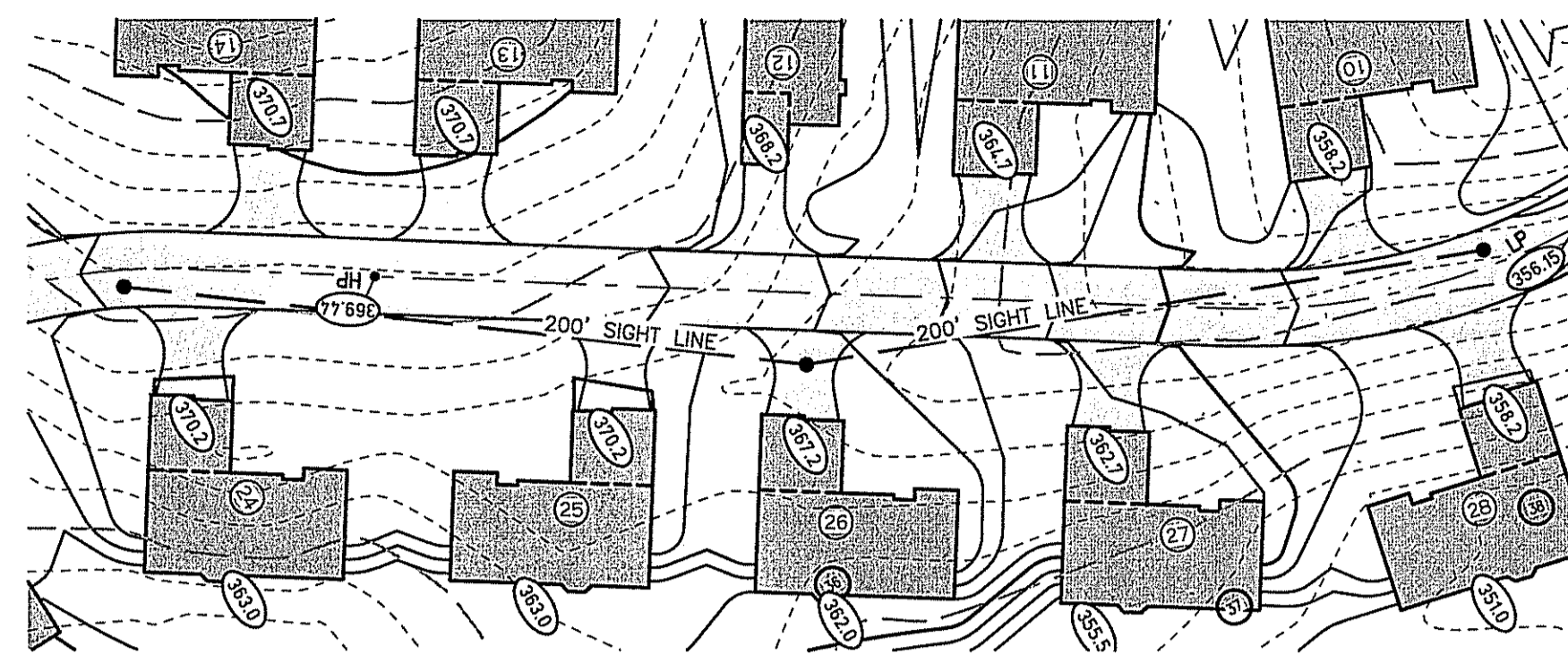
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EH-5
SHEET

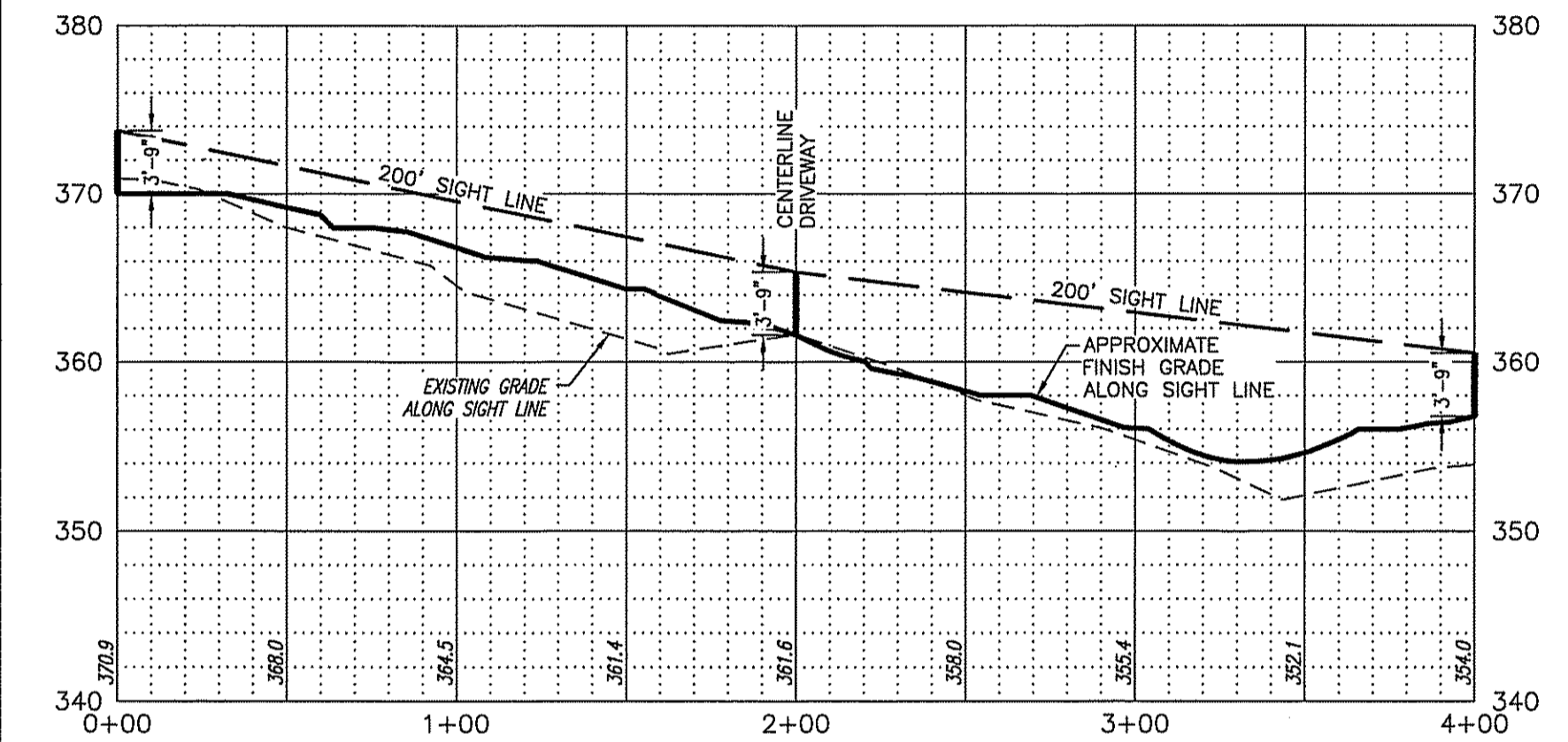
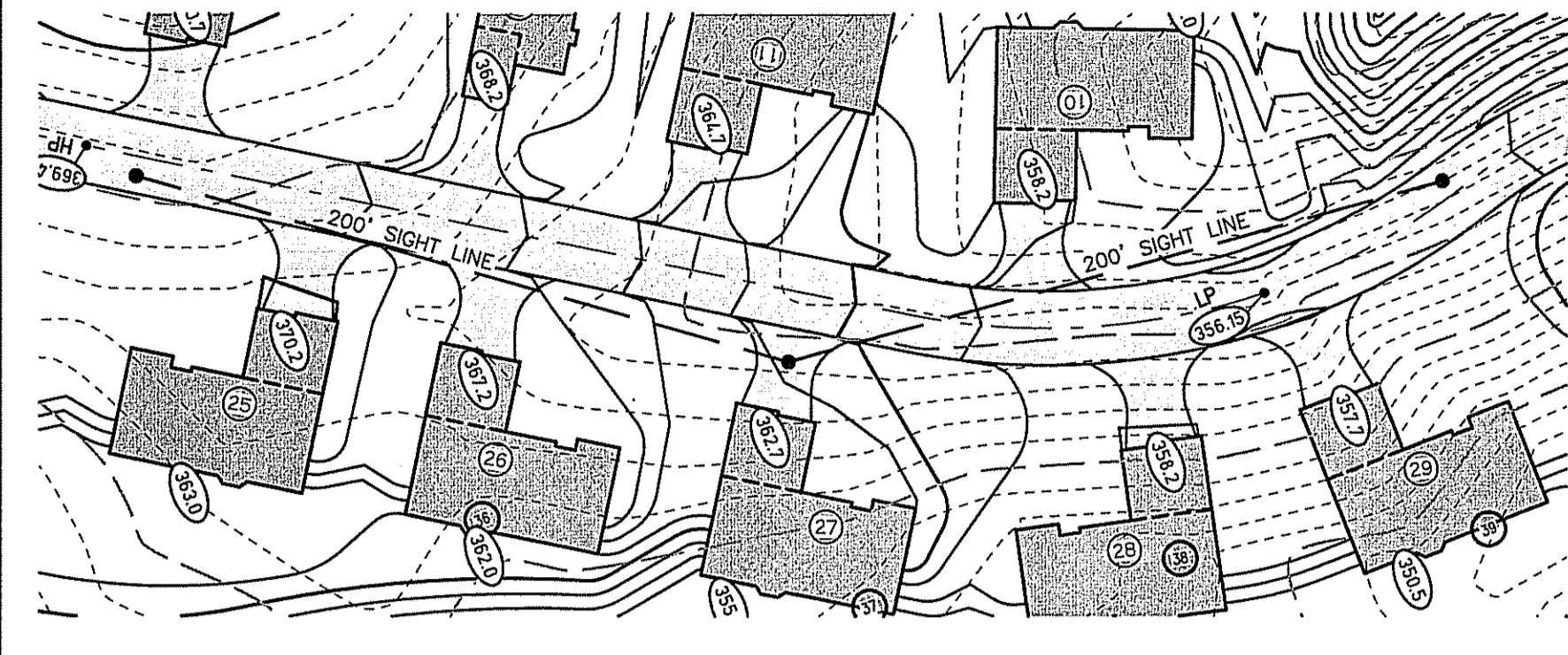
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PAGE NO. 5 OF 9



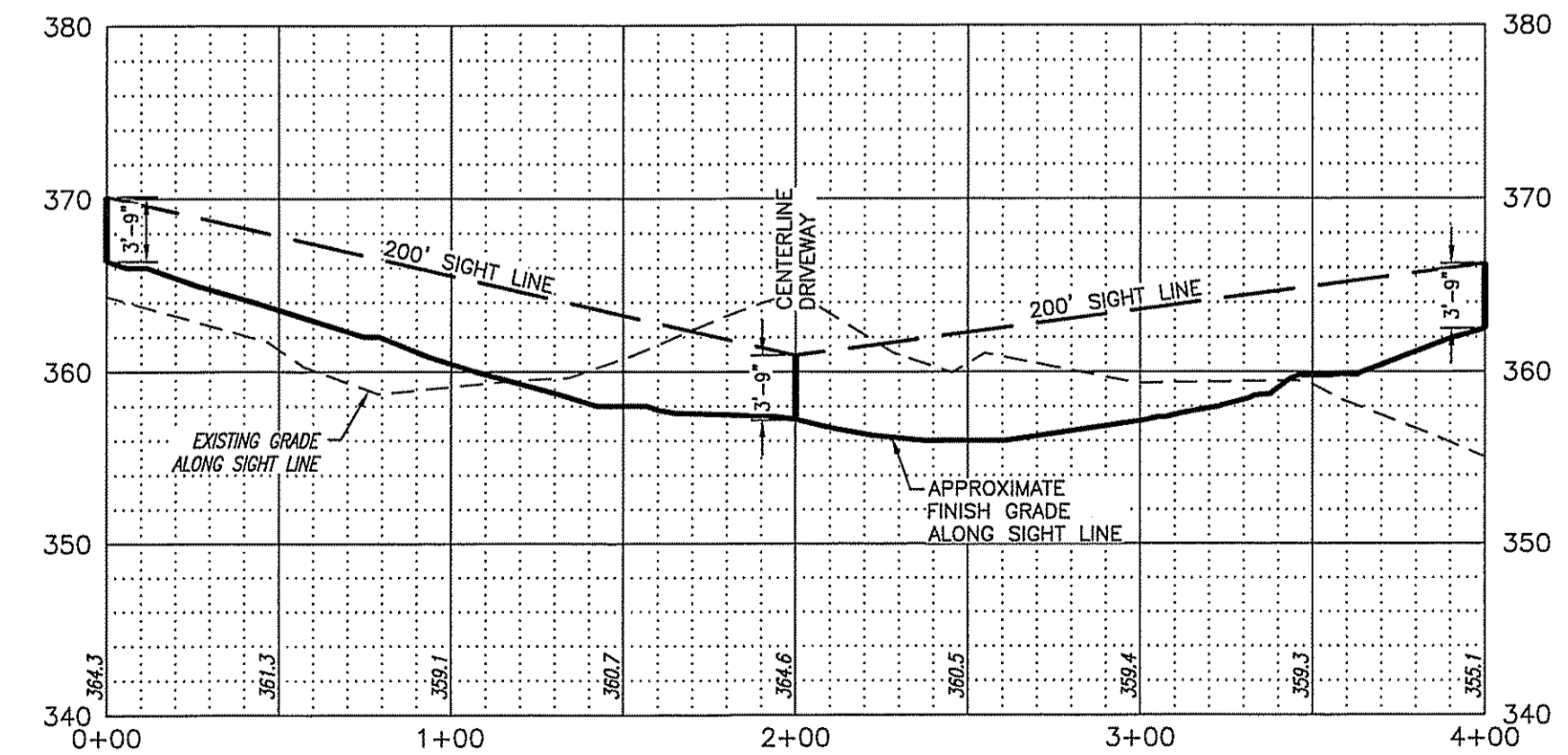
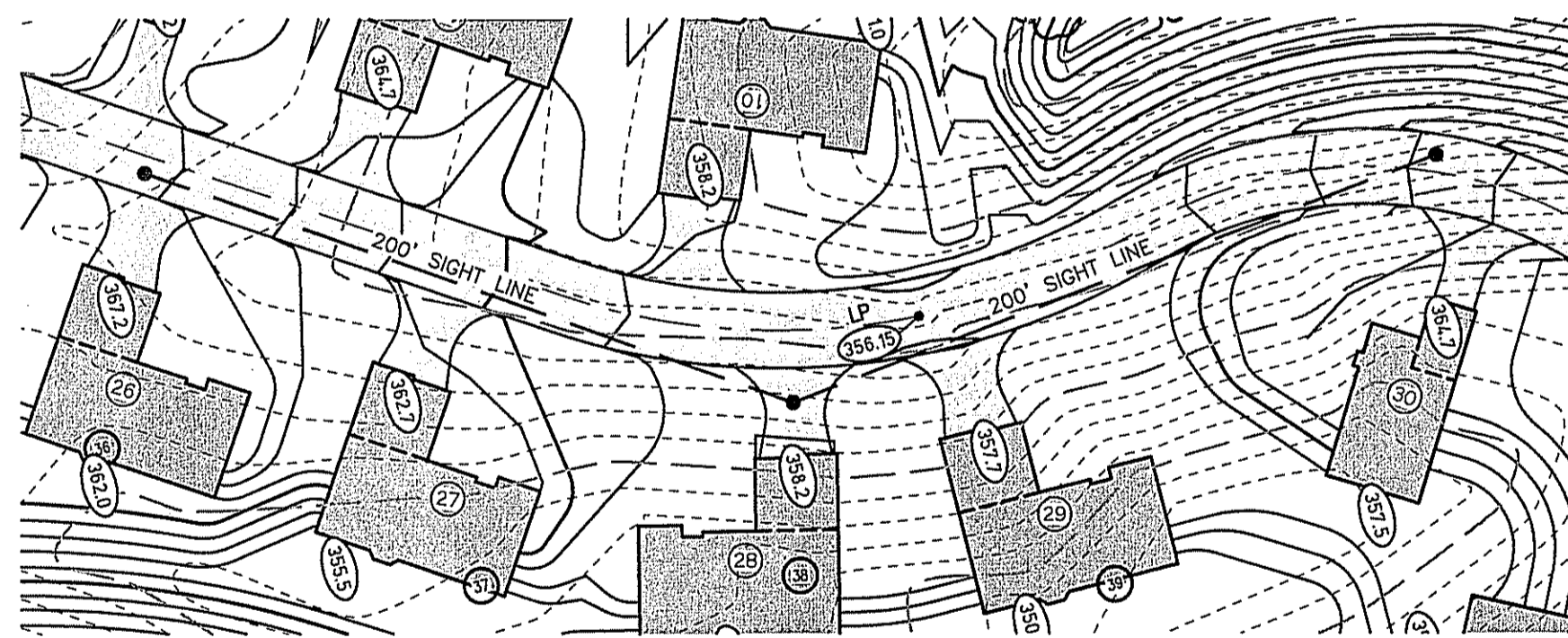
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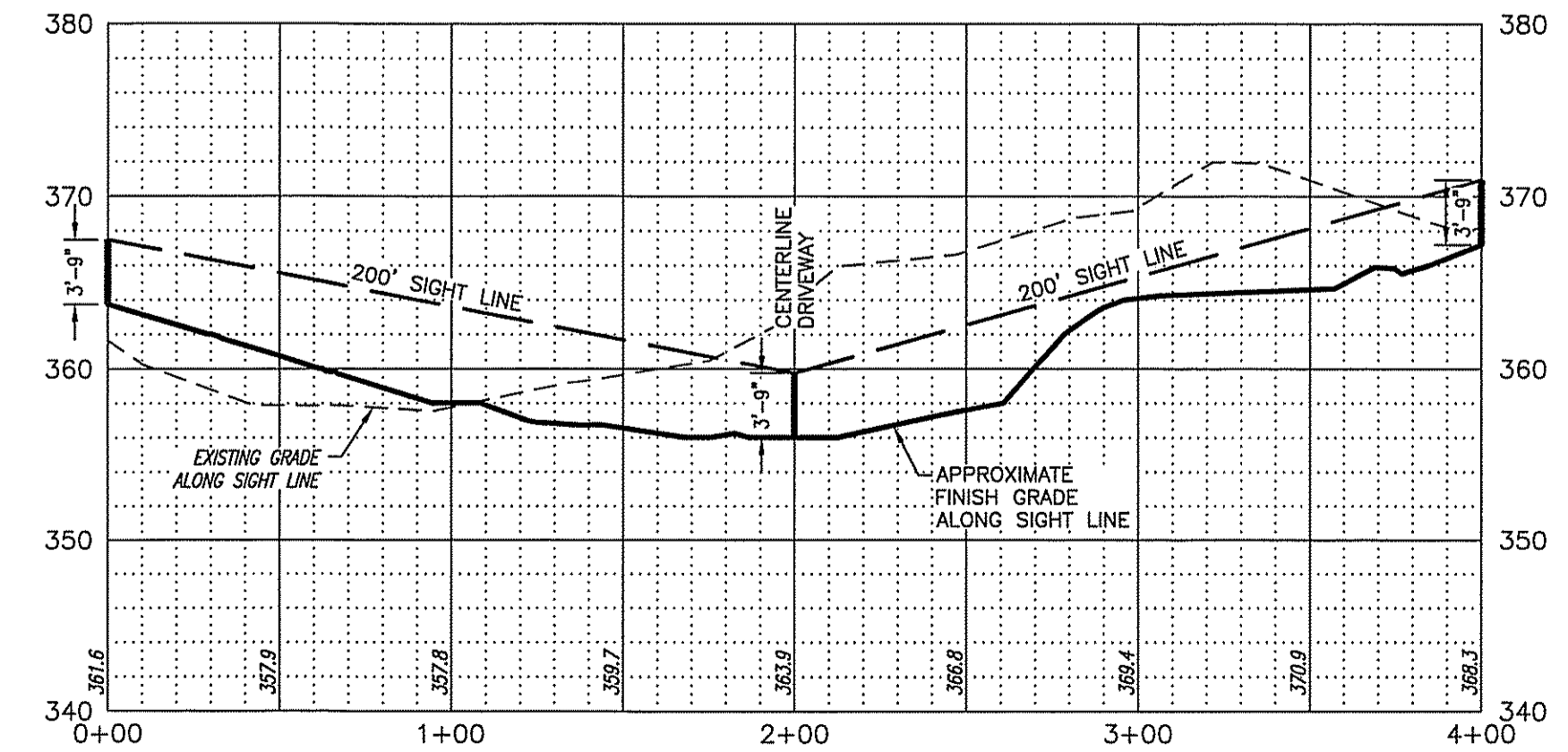
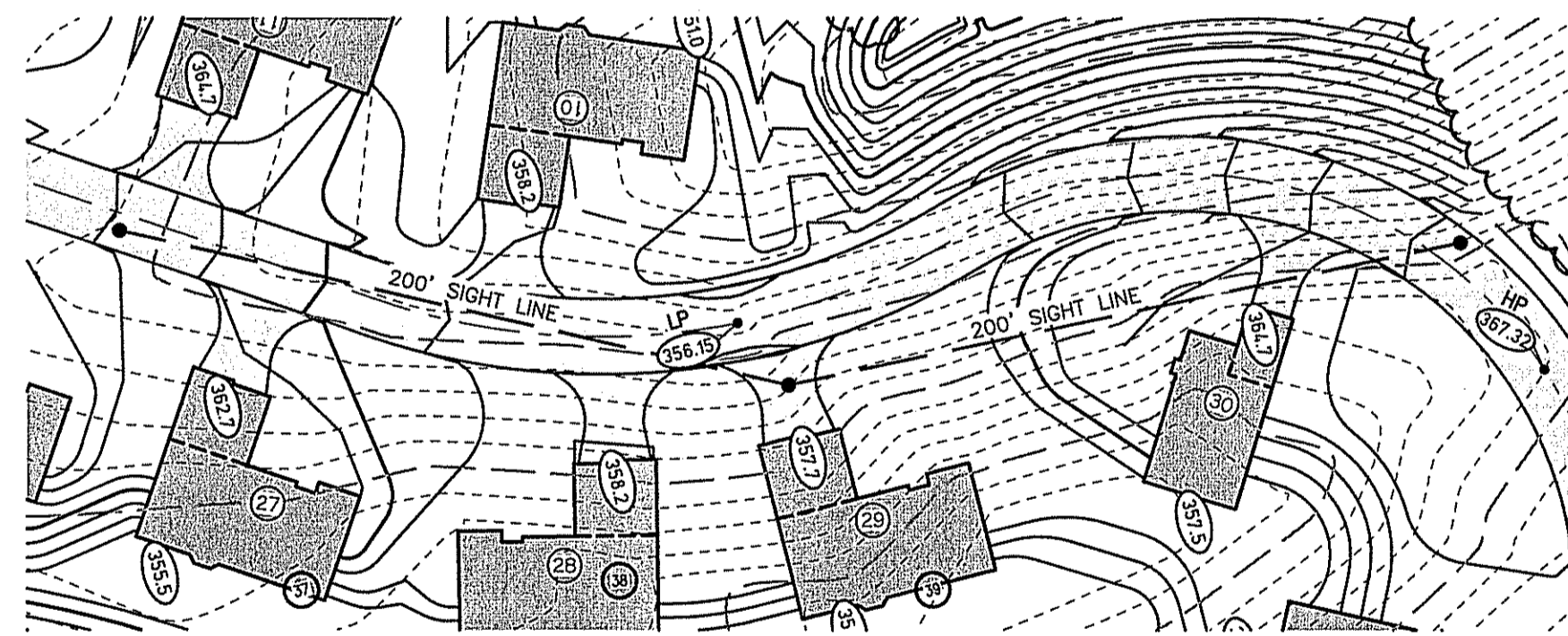
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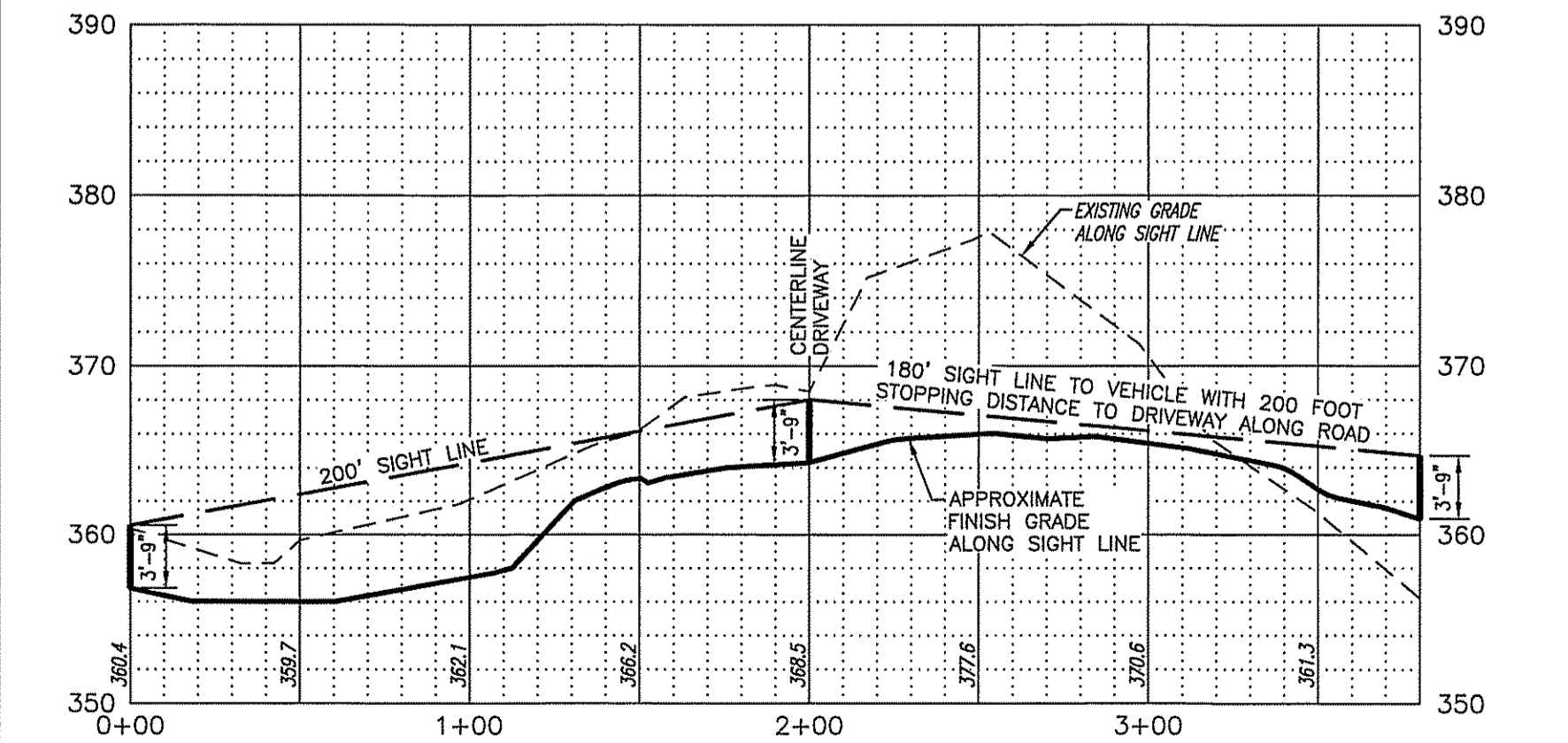
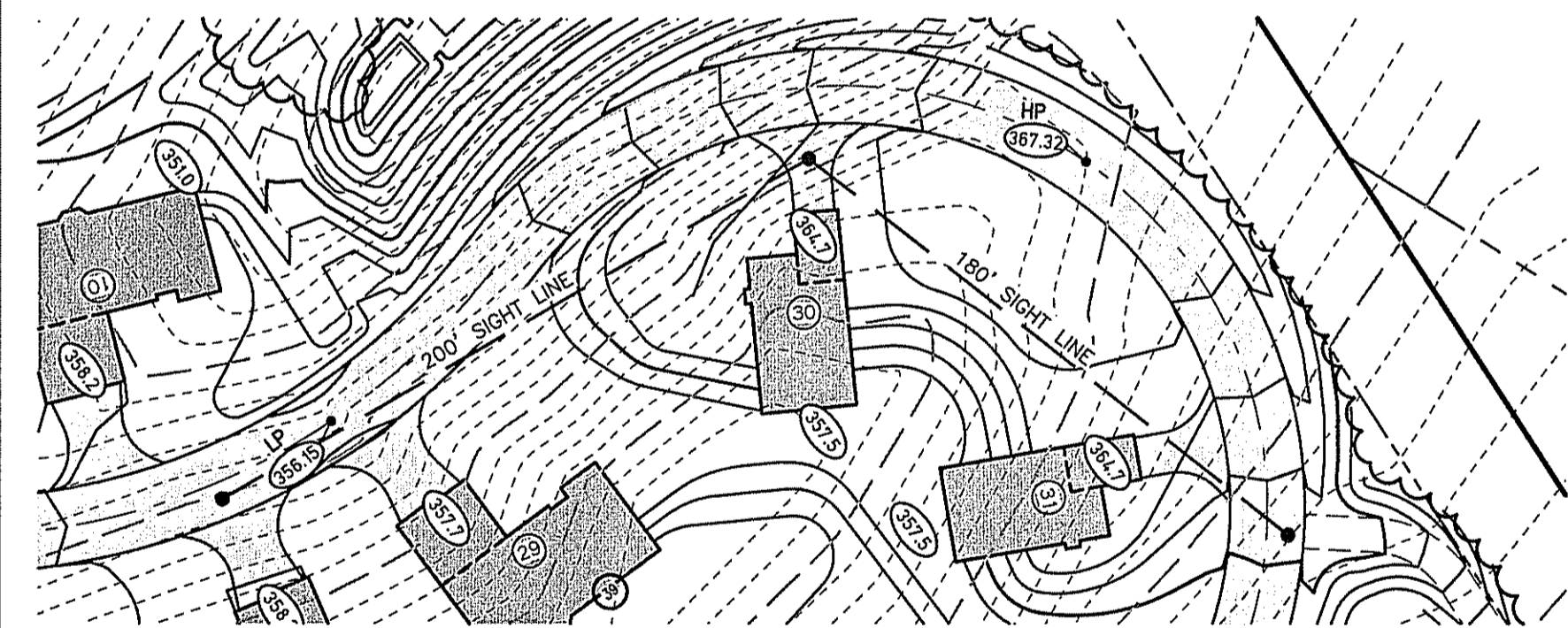
UNIT 27



UNIT 28



UNIT 29

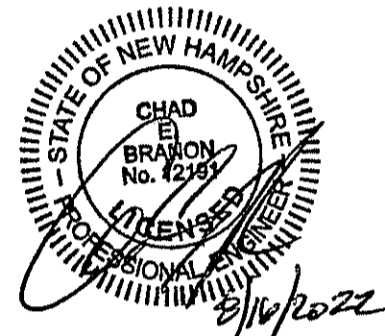
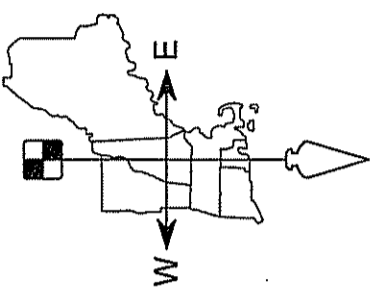


UNIT 30

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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REV.	DATE	DESCRIPTION	DR	CK
B	9/27/22	PER PLANNING BOARD	DSL	NRC
A	9/25/21	PER 9/16/21 ENGINEERING REVIEW	DSL	NRC

RAISANEN HOMES ELITE, LLC
P.O. BOX 748
NASHUA, NH 03061-0748

TODDY BROOK INVESTMENTS, LLC

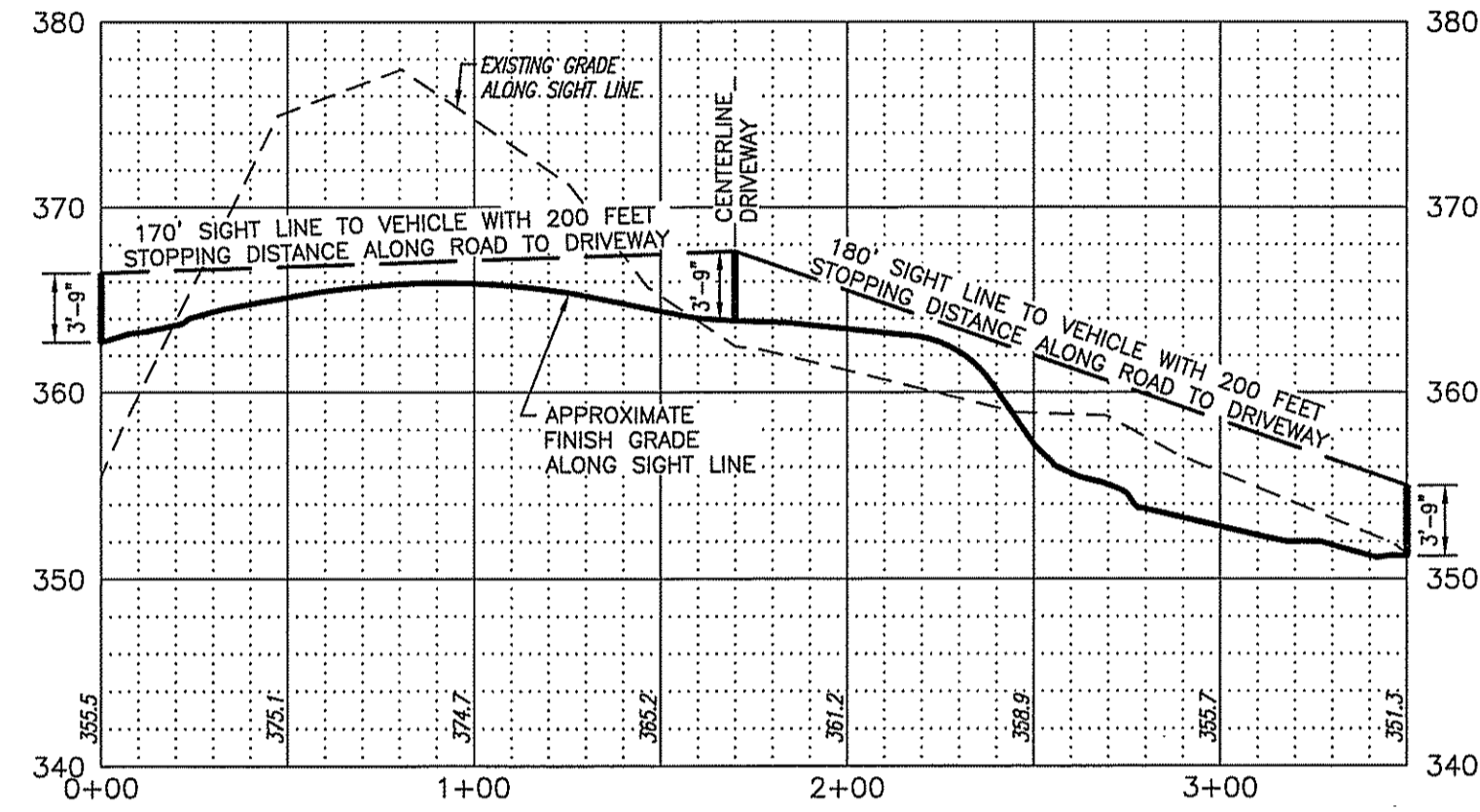
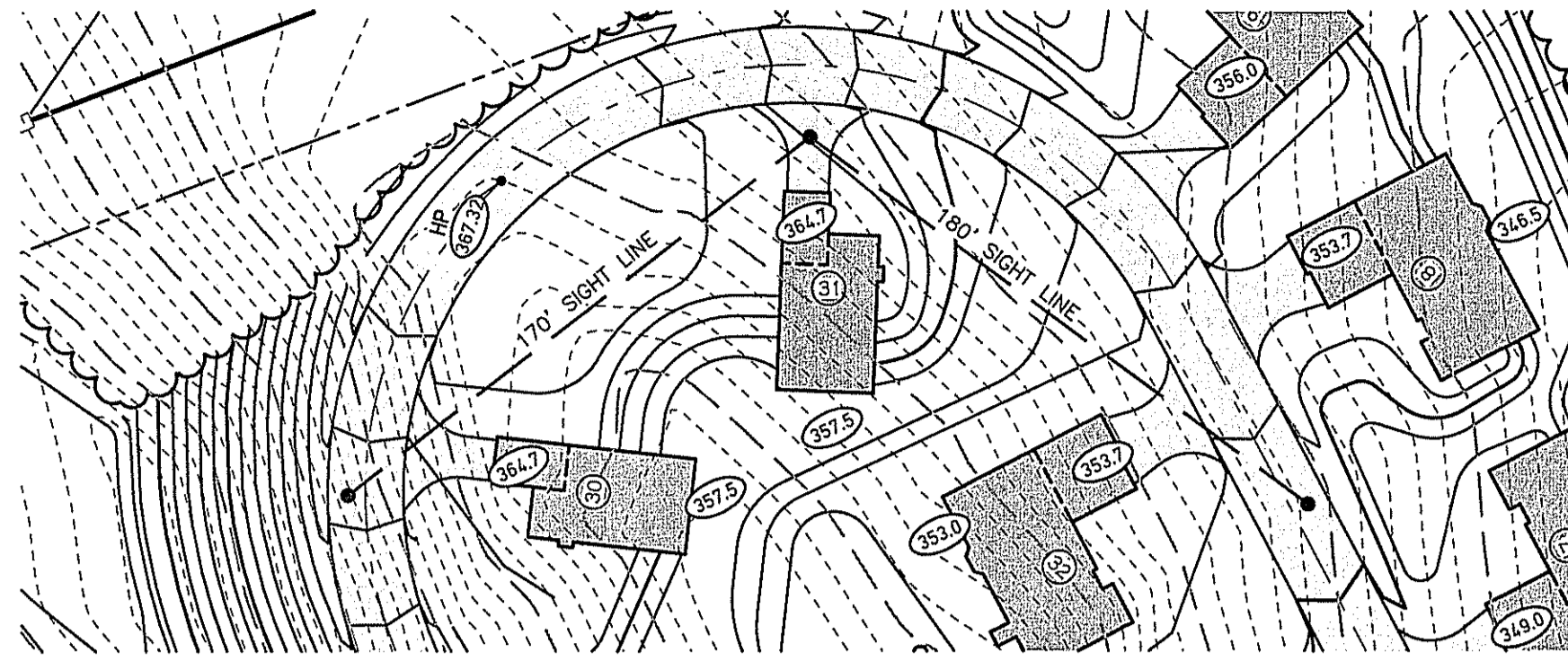
PLANS ISSUED FOR:
MUNICIPAL REVIEW

SCALE: 1" = 50' HORIZ. / 10' VERT.

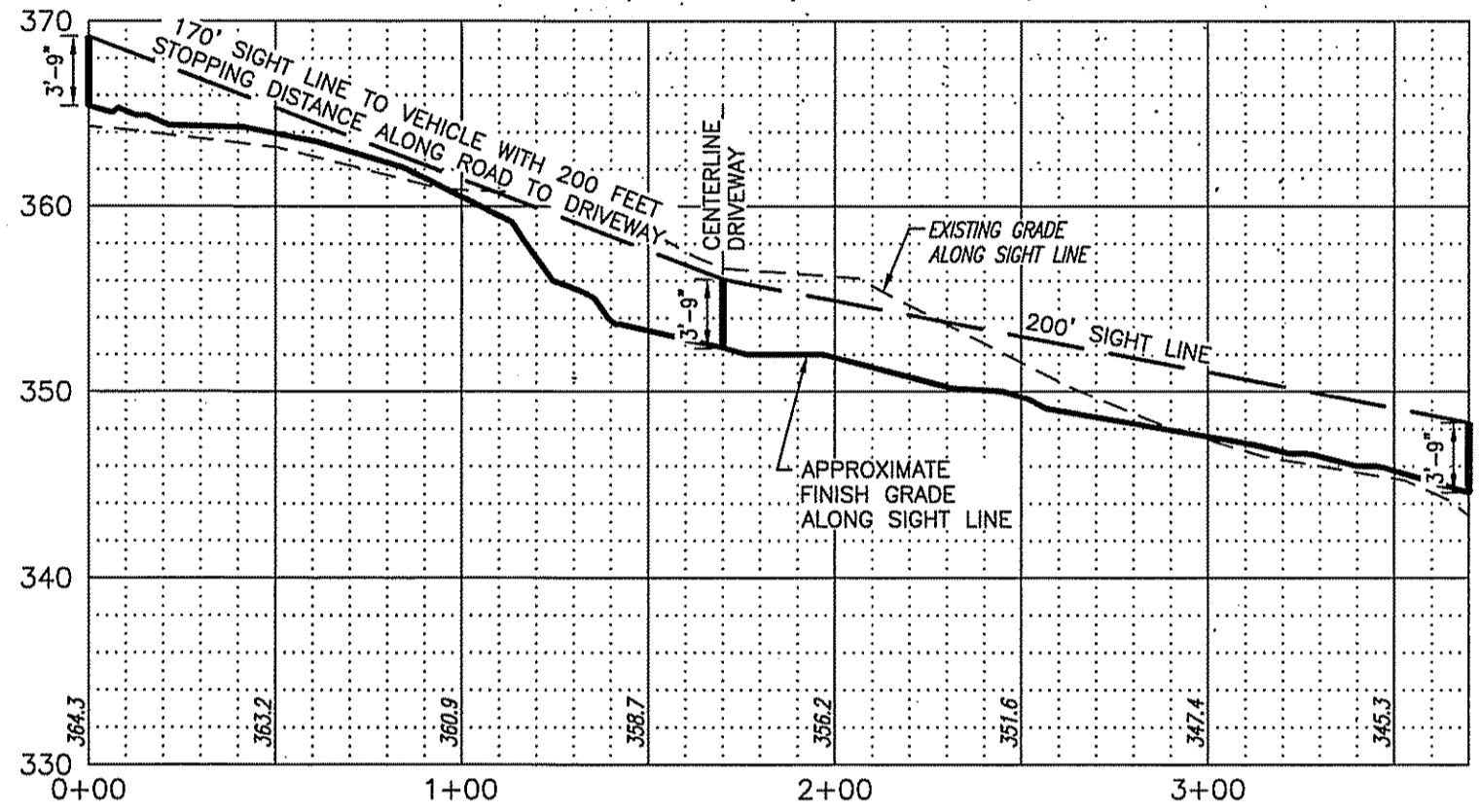
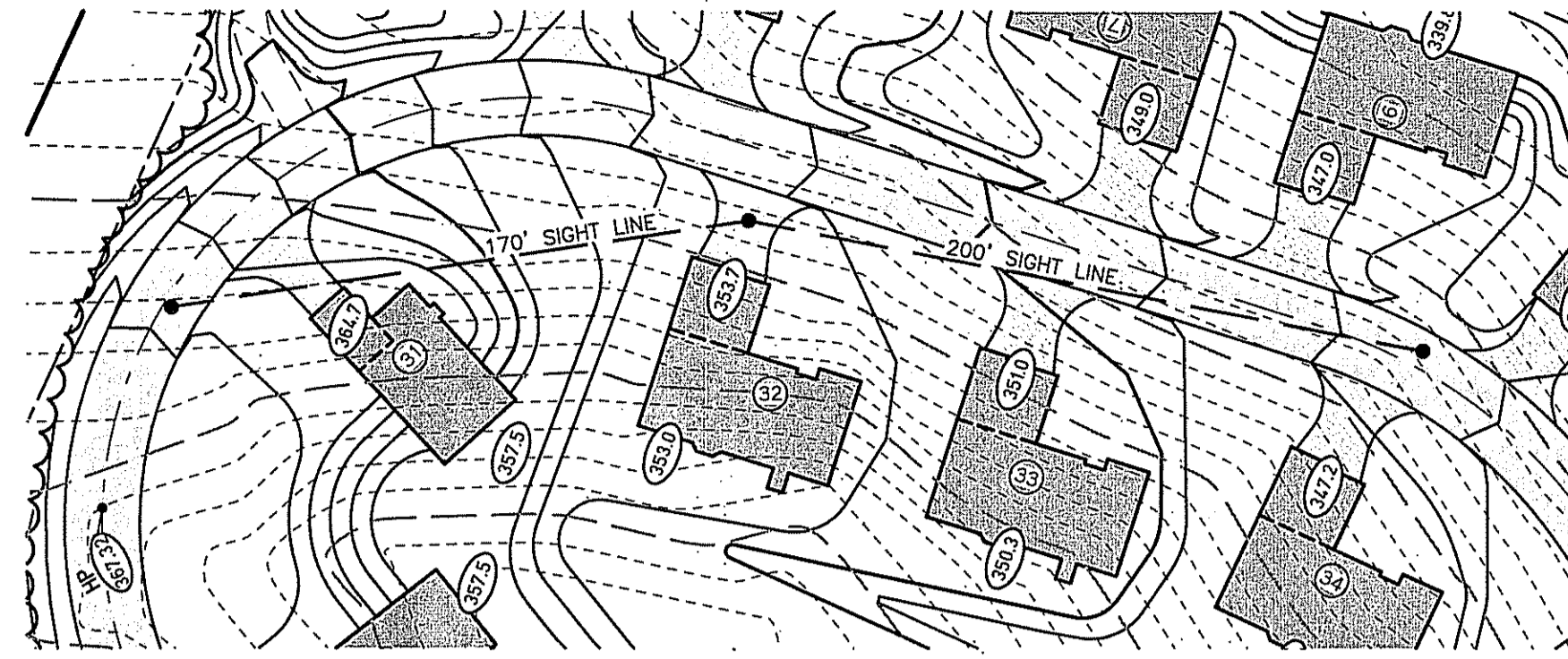
EH-6
SHEET

PROJECT NO. 1591.00
PAGE NO. 6 OF 9

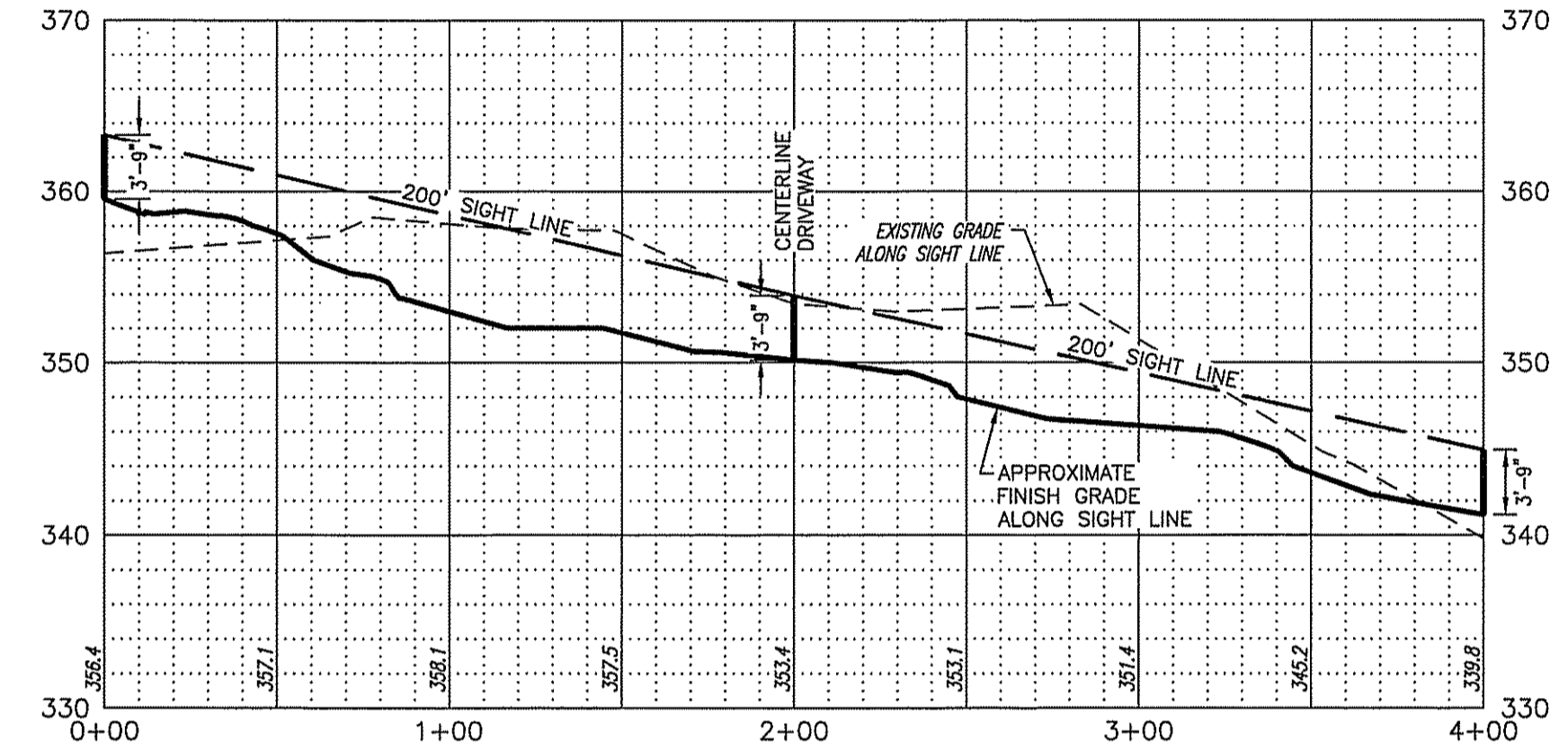
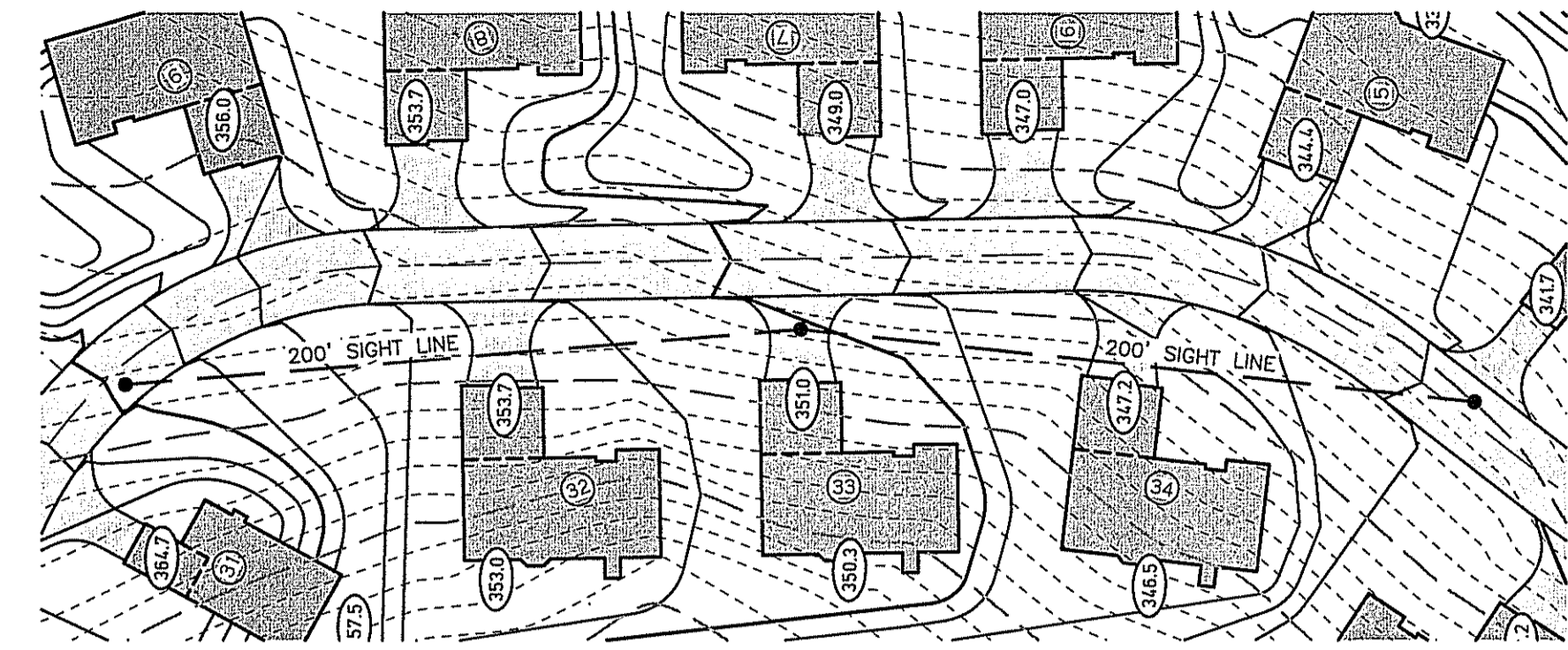
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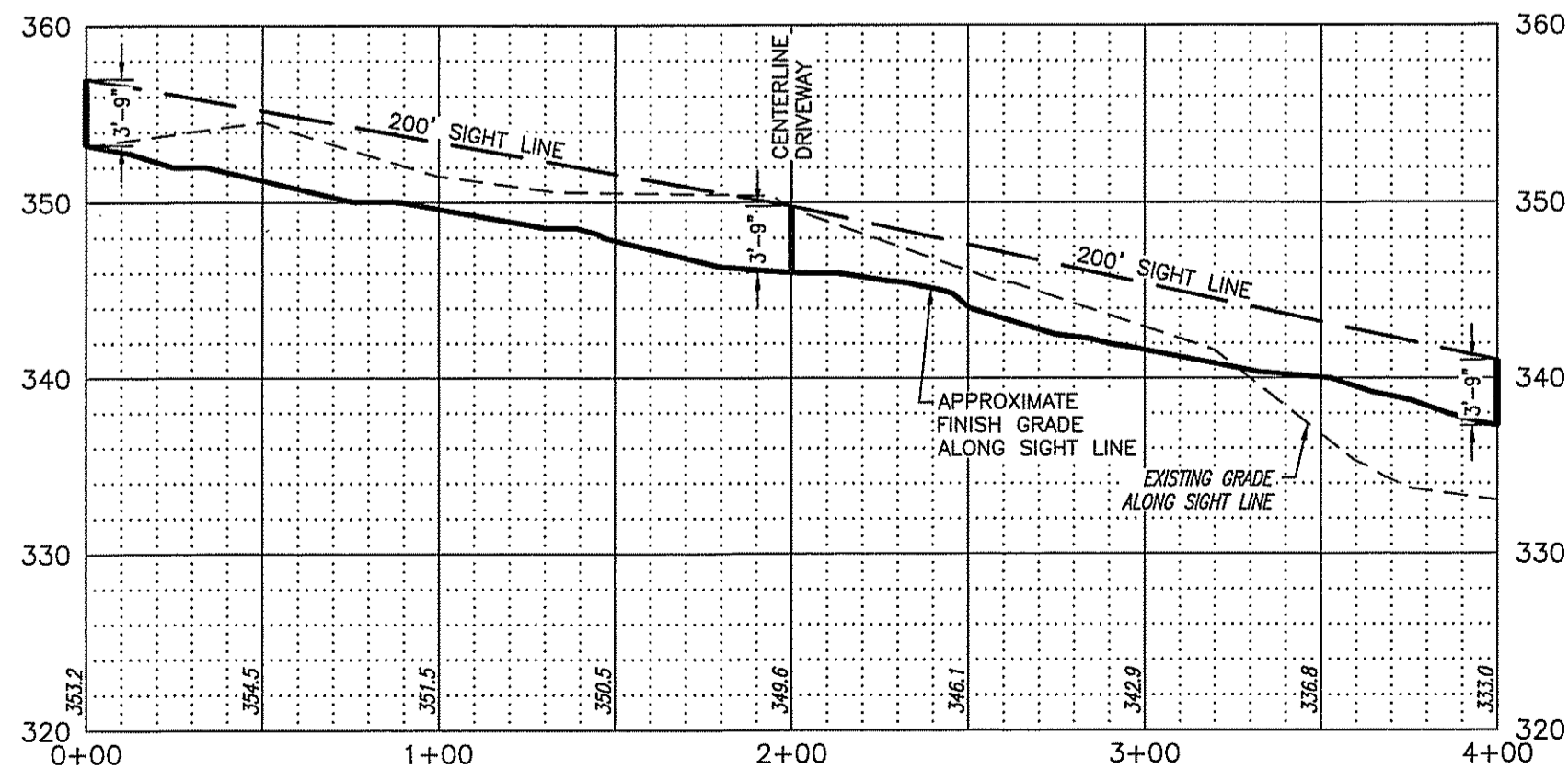
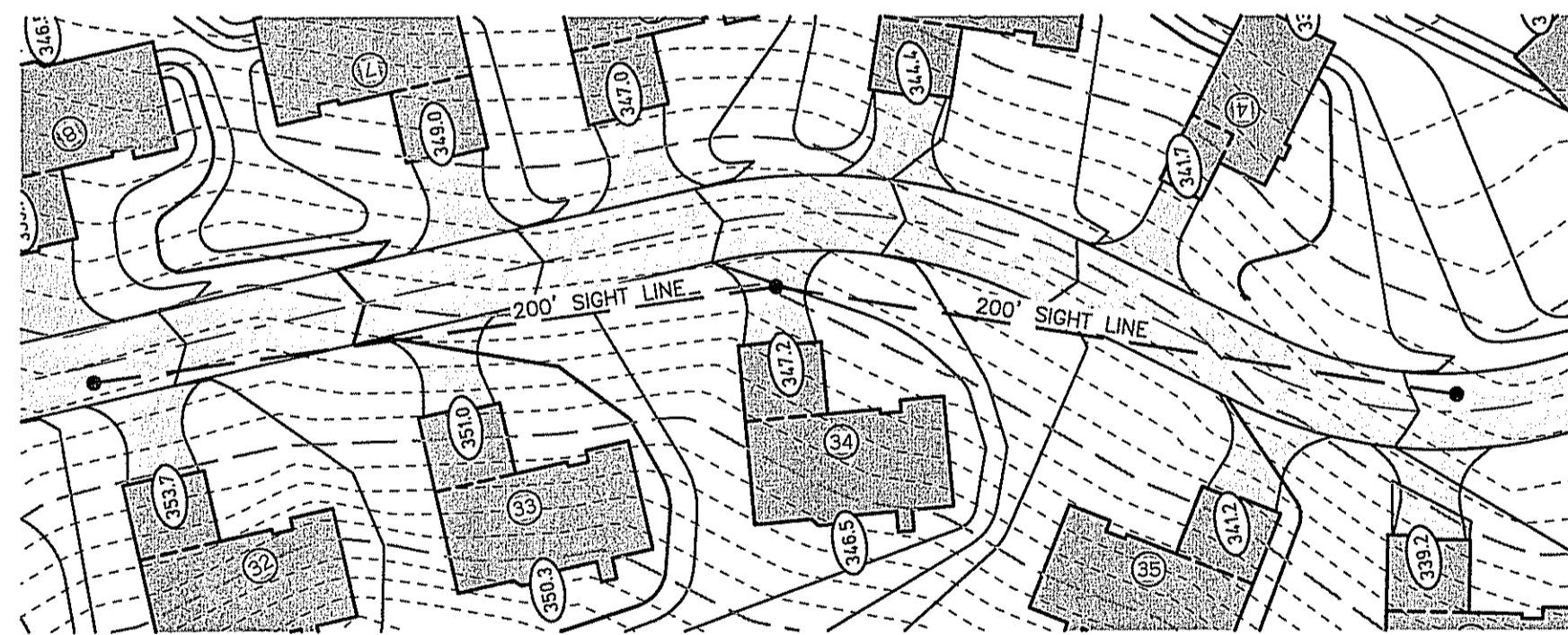
UNIT 31



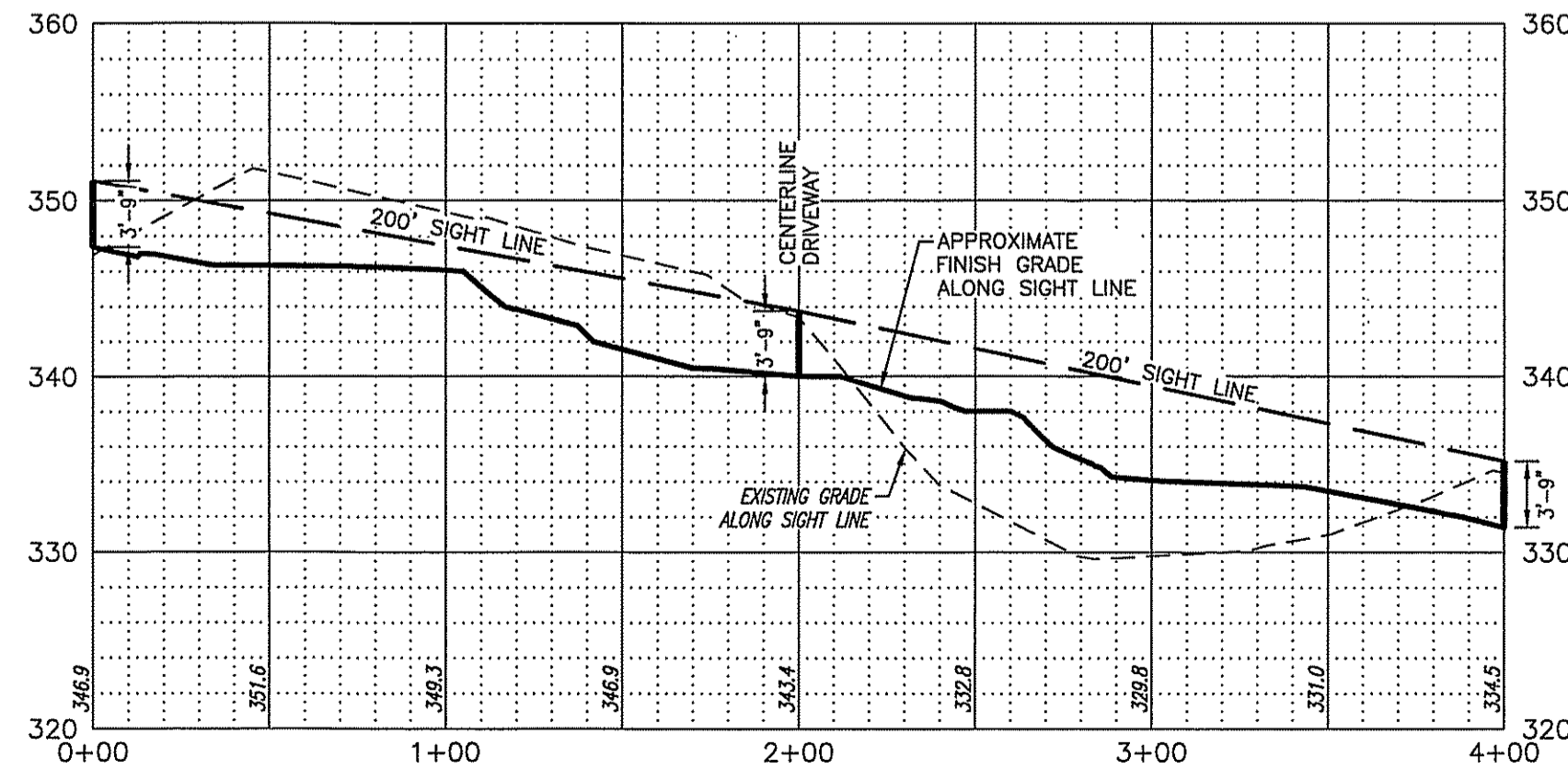
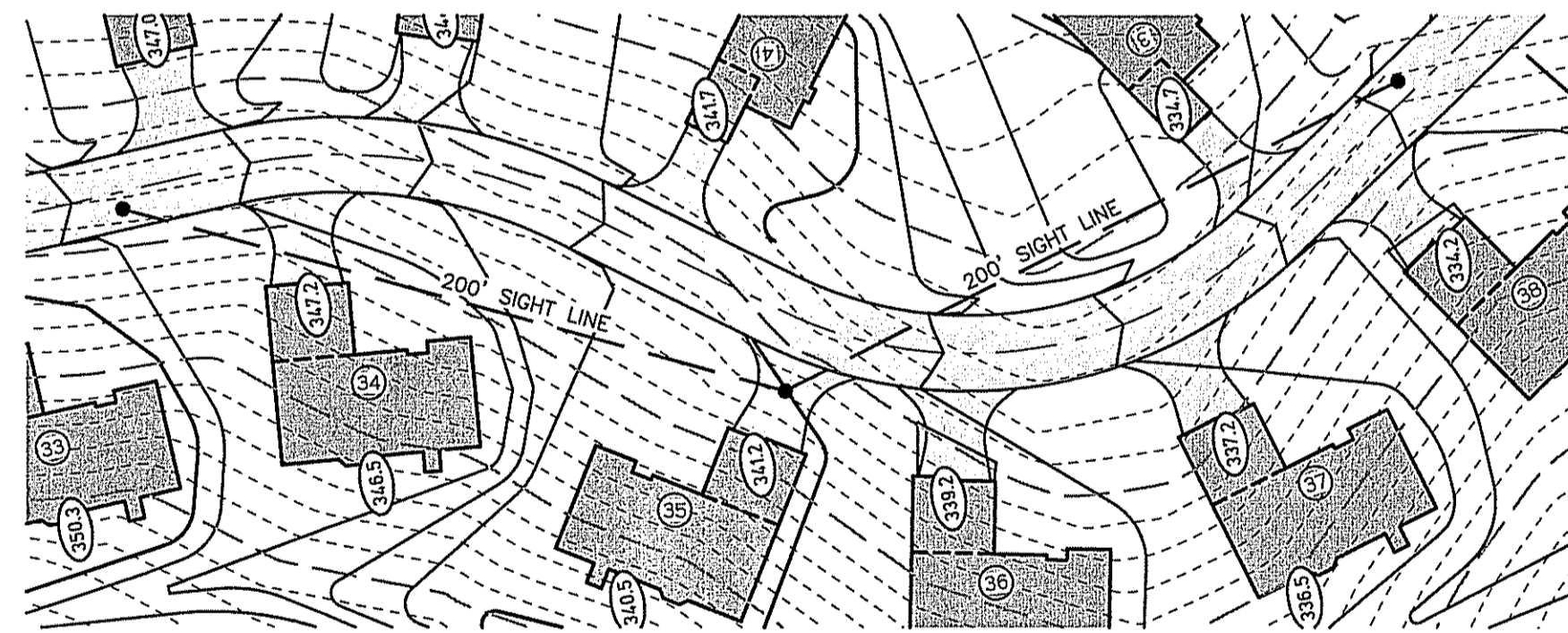
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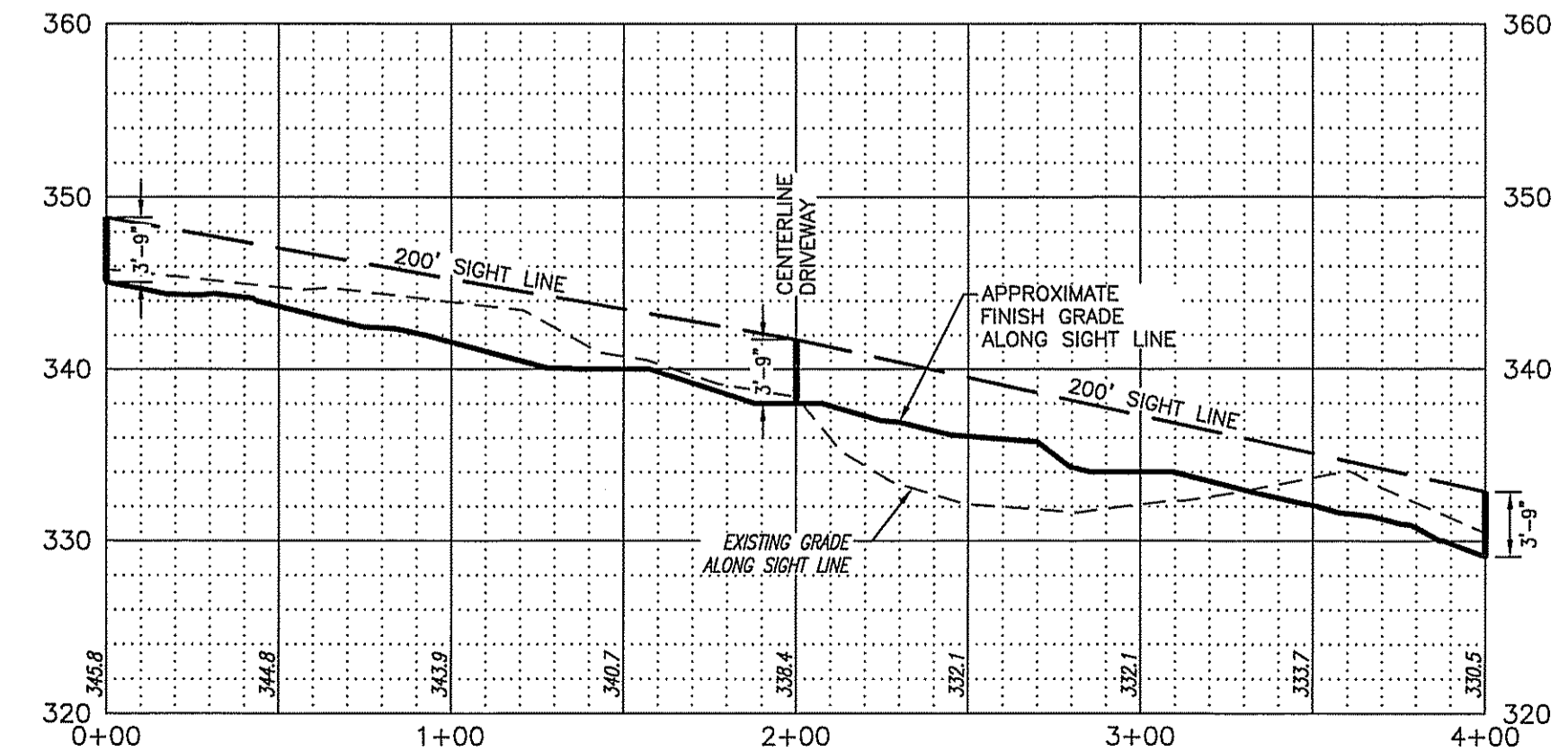
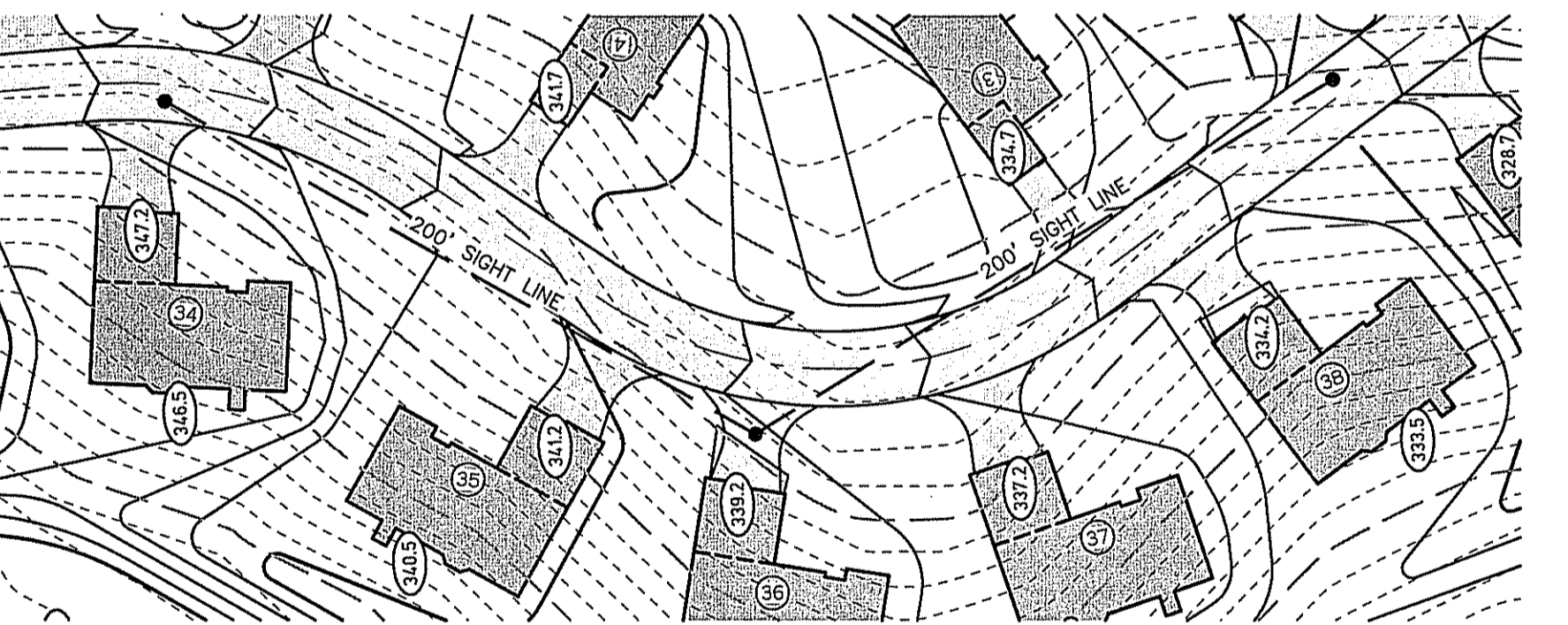
UNIT 33



UNIT 34



UNIT 35

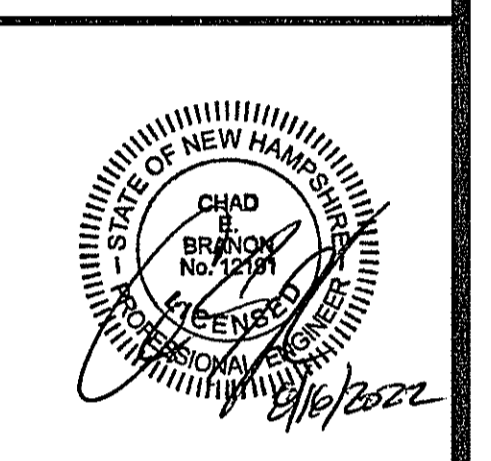


UNIT 36

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B	9/27/22	PER PLANNING BOARD	DSL	MRC
A	9/25/21	PER 9/16/21 ENGINEERING REVIEW	DSL	MRC

RAISANEN HOMES ELITE, LLC
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NASHUA, NH 03061-0748

TODDY BROOK INVESTMENTS, LLC

SIGHT DISTANCE PLAN & PROFILES - UNITS 31-36

PLANS ISSUED FOR:
TAX MAP 41, LOTS 25, 28, 44
HOLLIS, NEW HAMPSHIRE

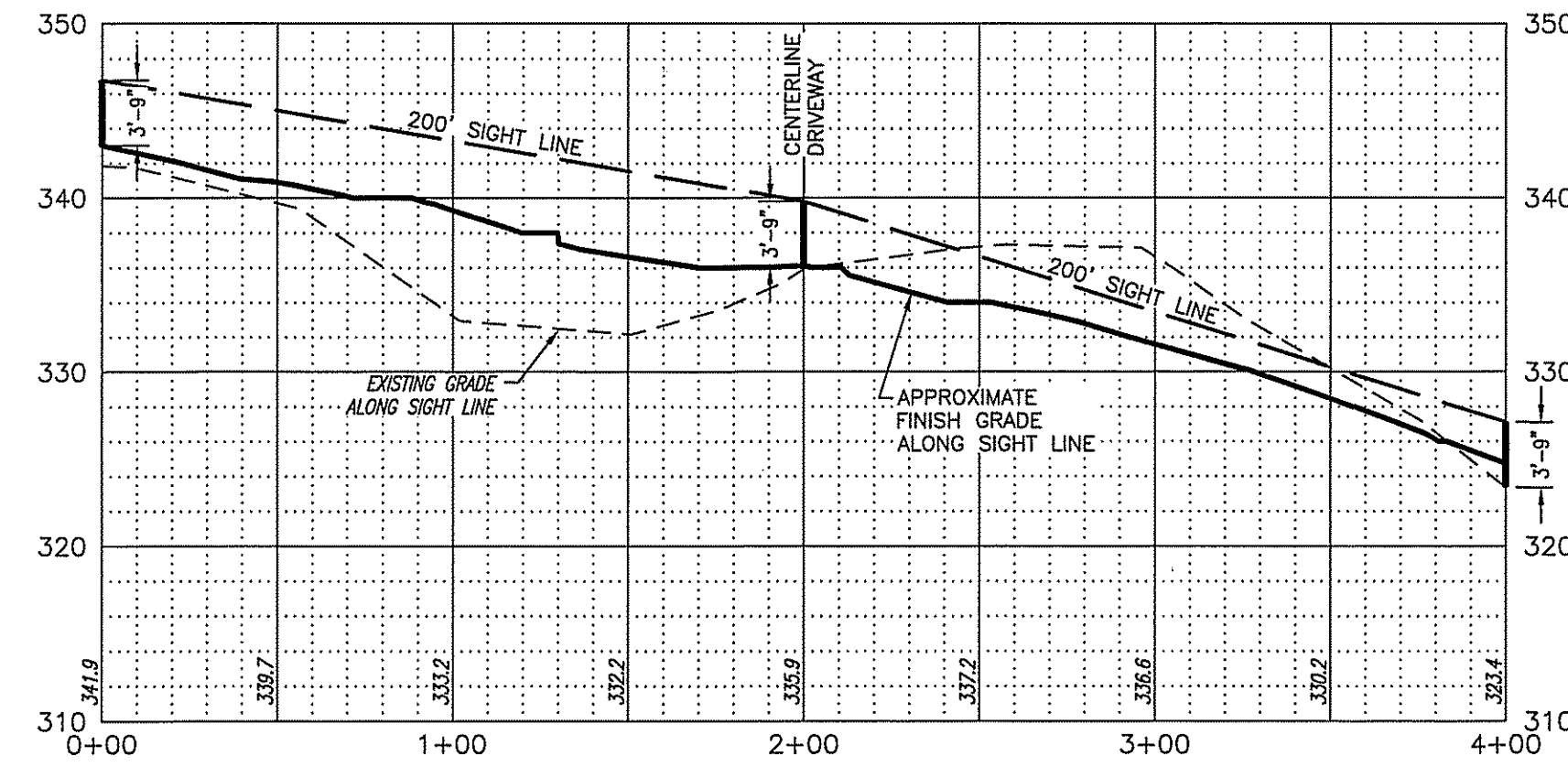
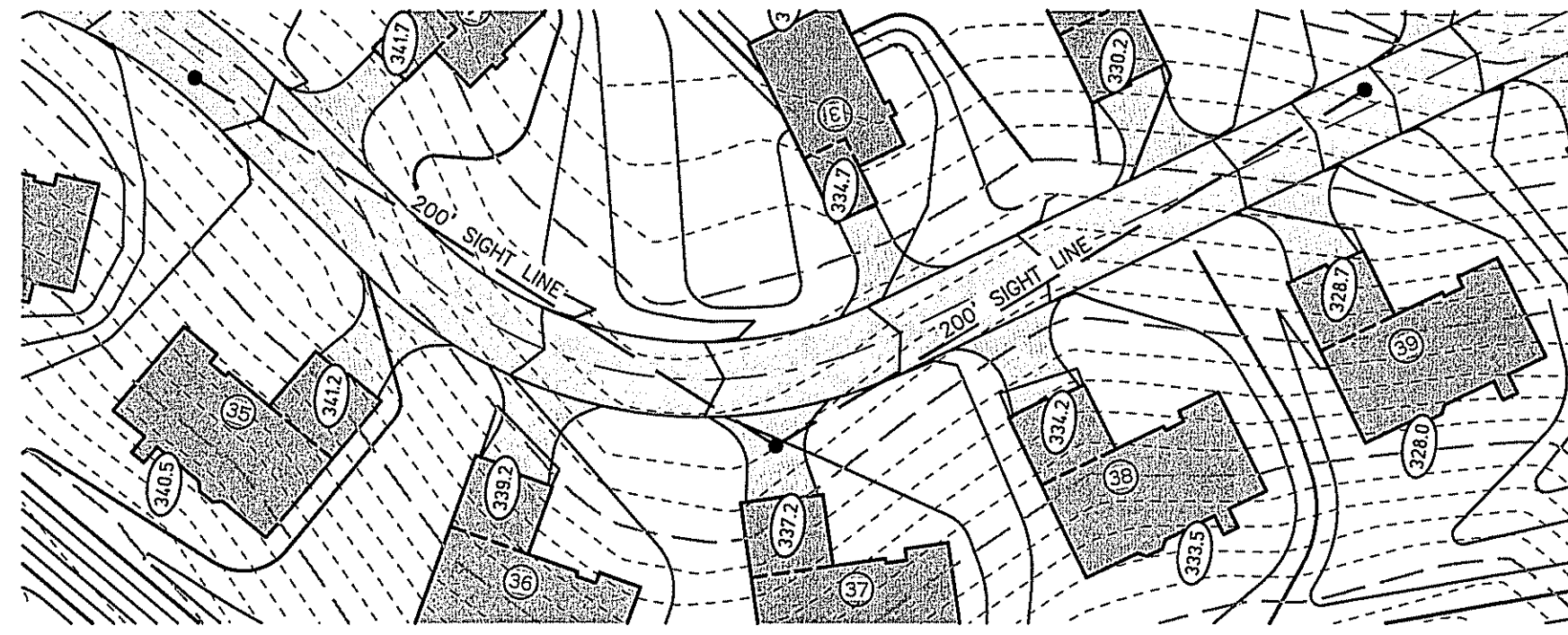
PROJECT NO. 1591.00
PAGE NO. 7 OF 9

ISSUED FOR:
MUNICIPAL REVIEW

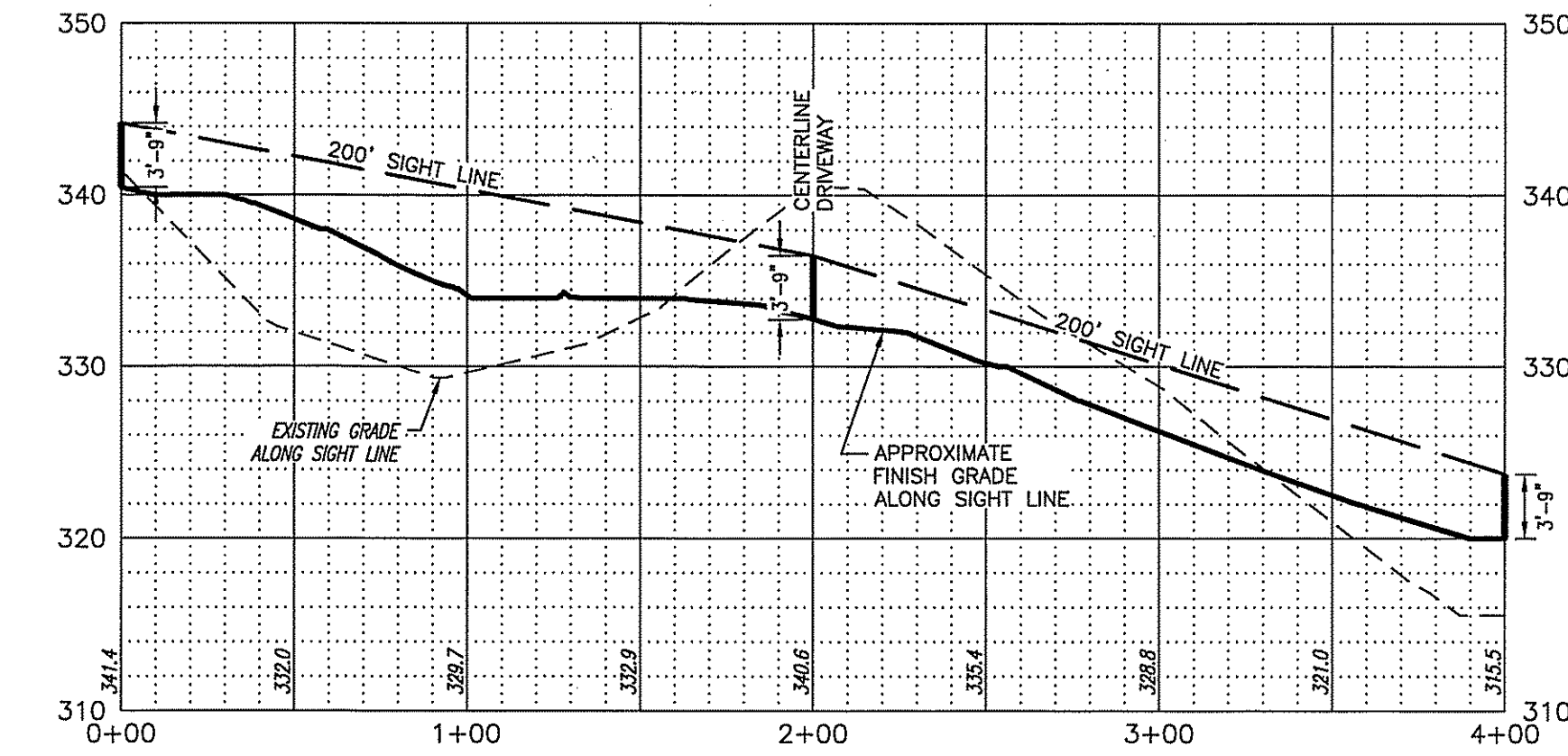
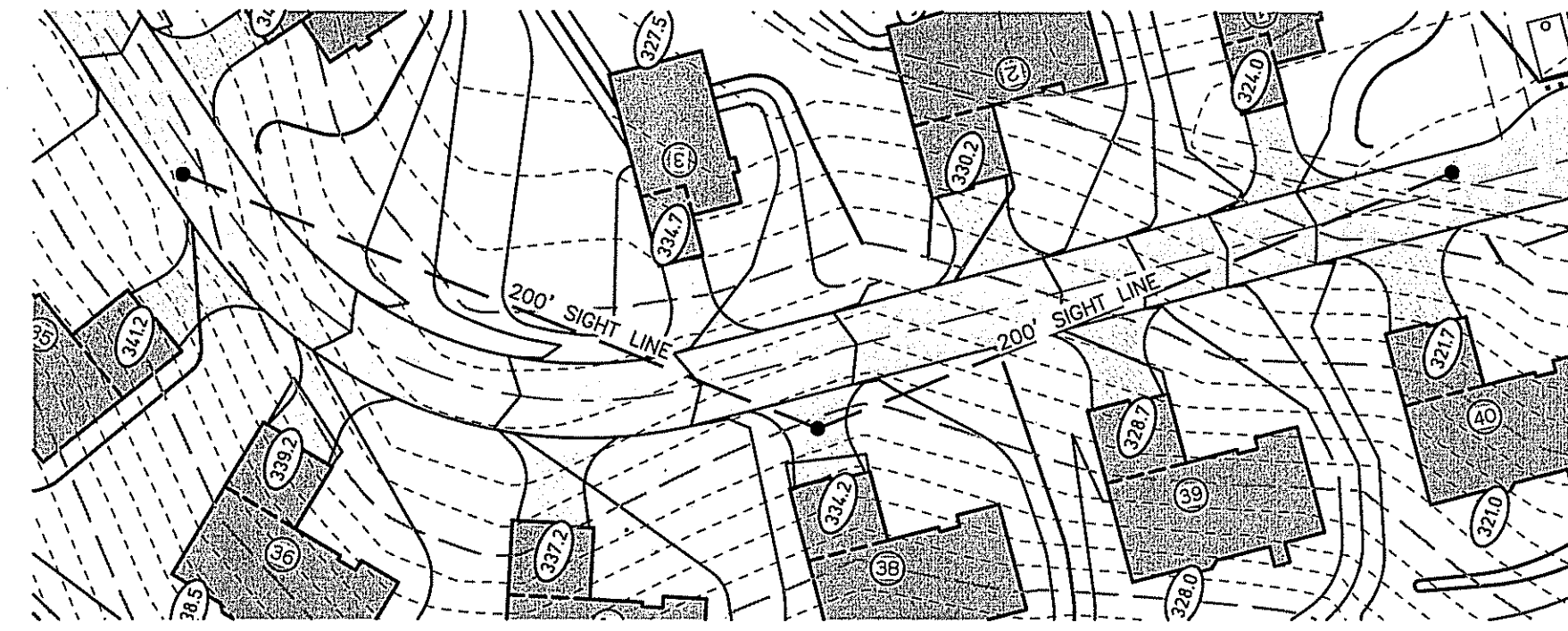
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JULY 27, 2021

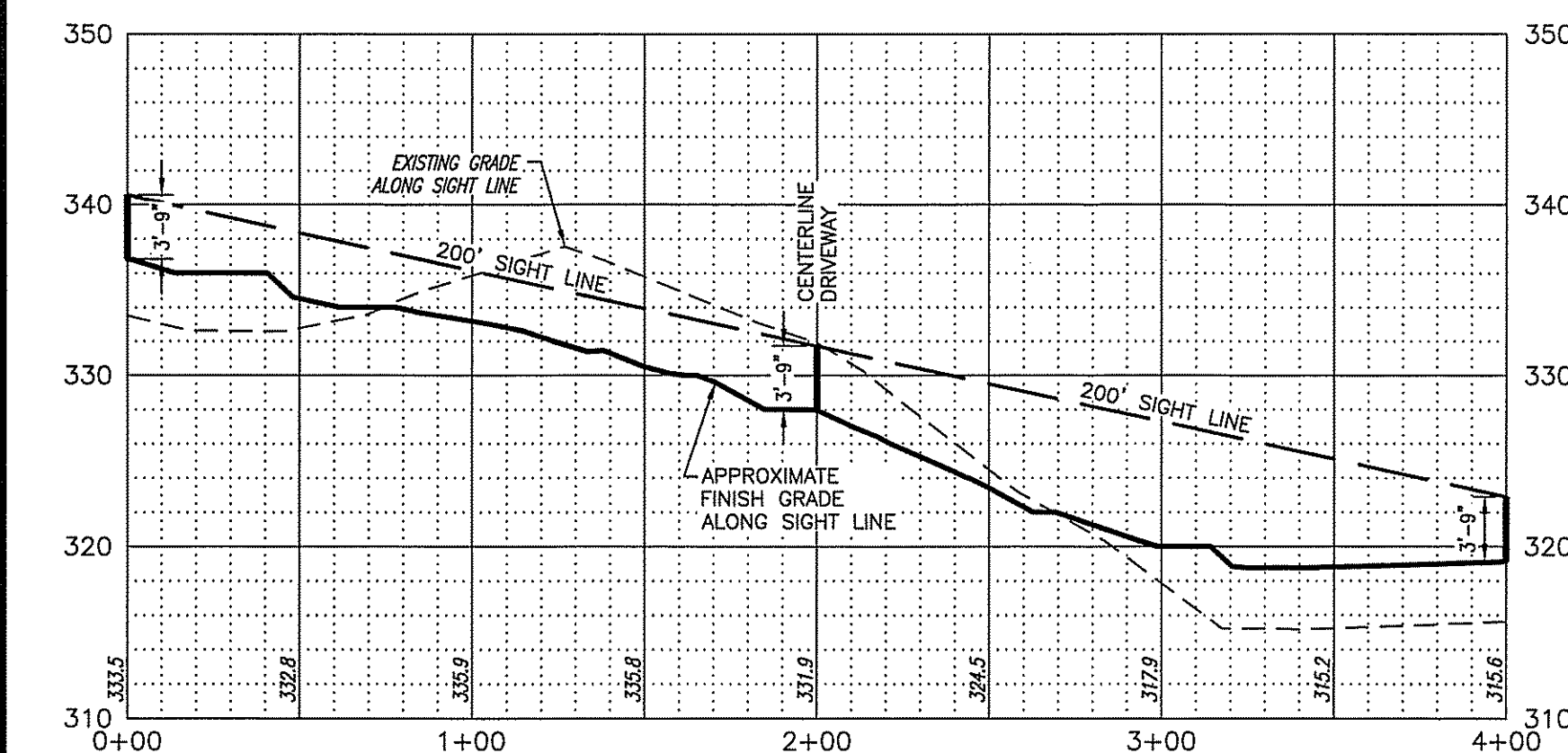
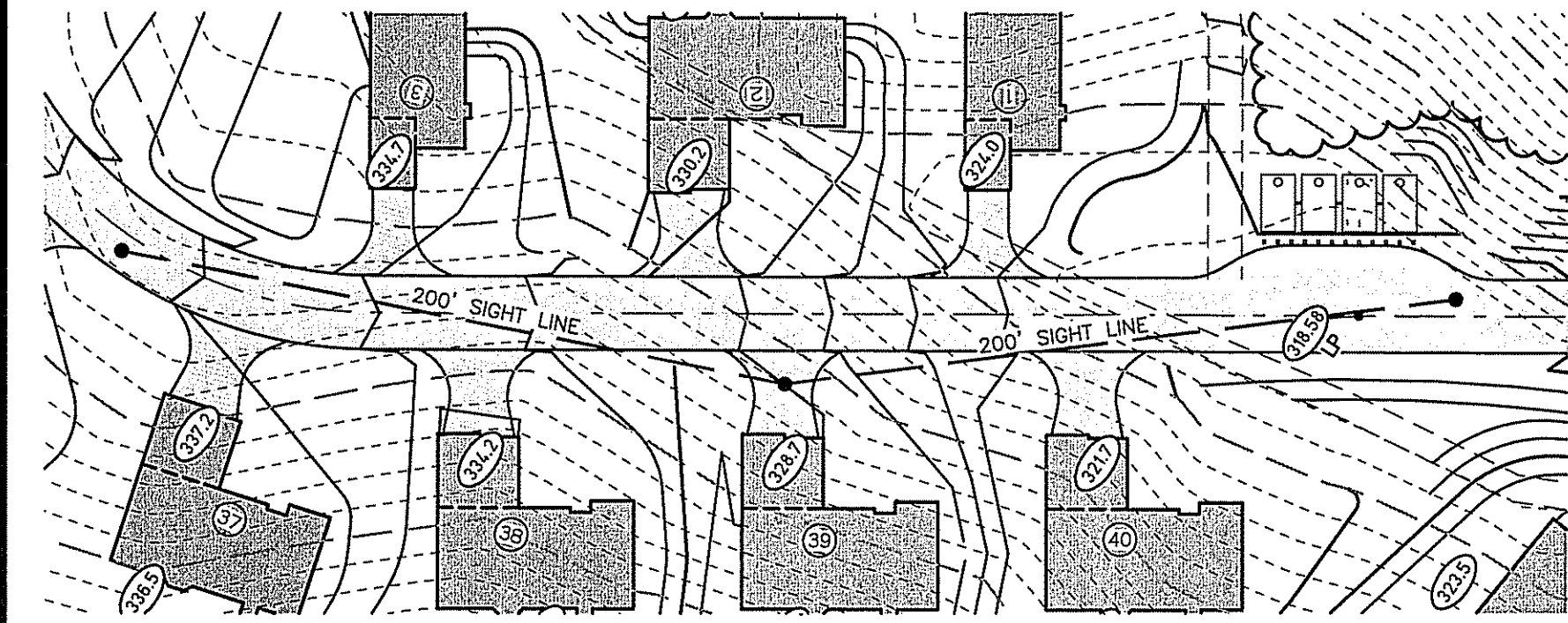
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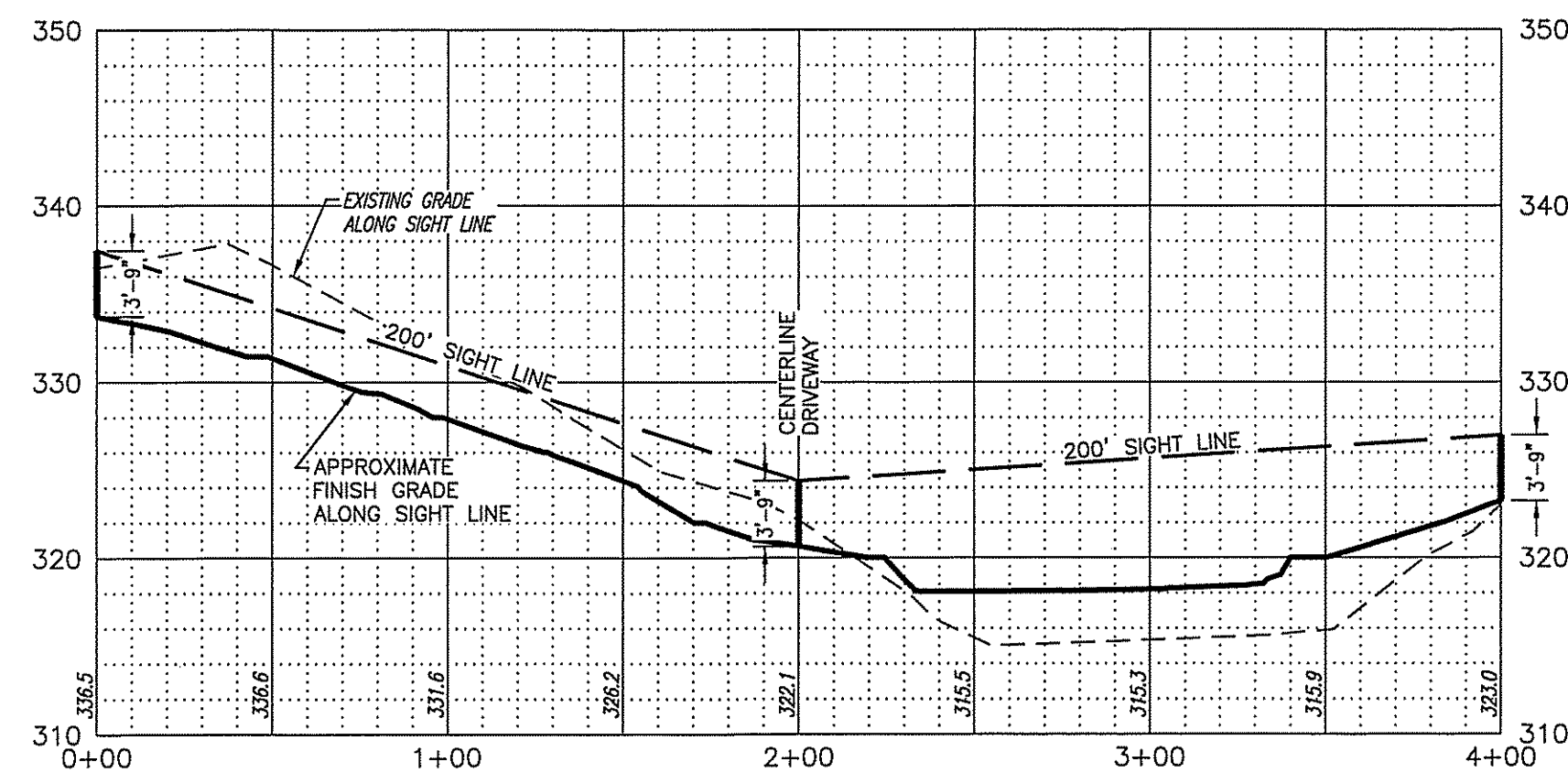
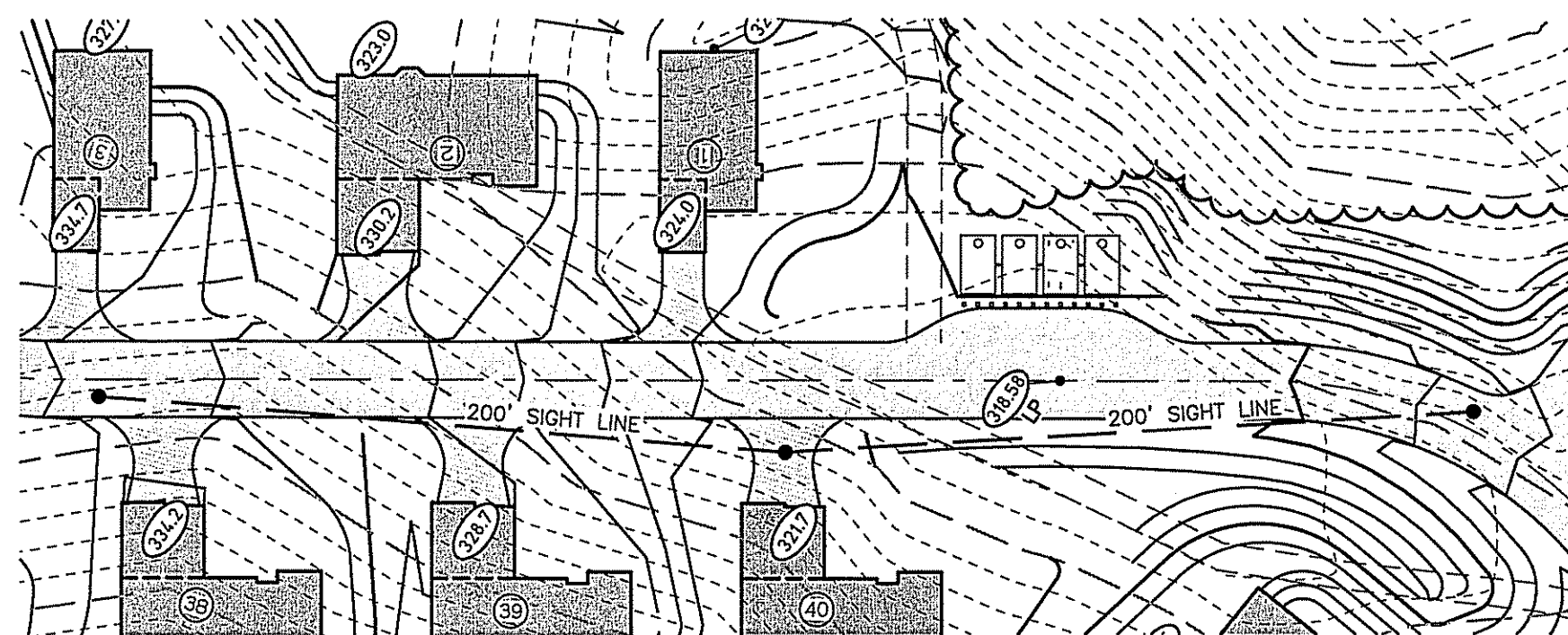
UNIT 37



UNIT 38



UNIT 39

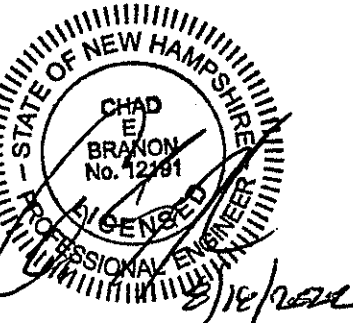
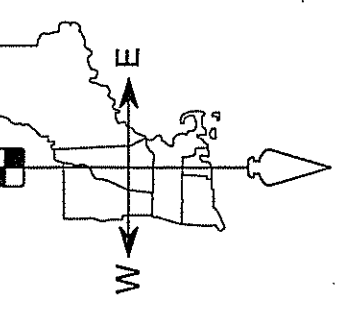


UNIT 40

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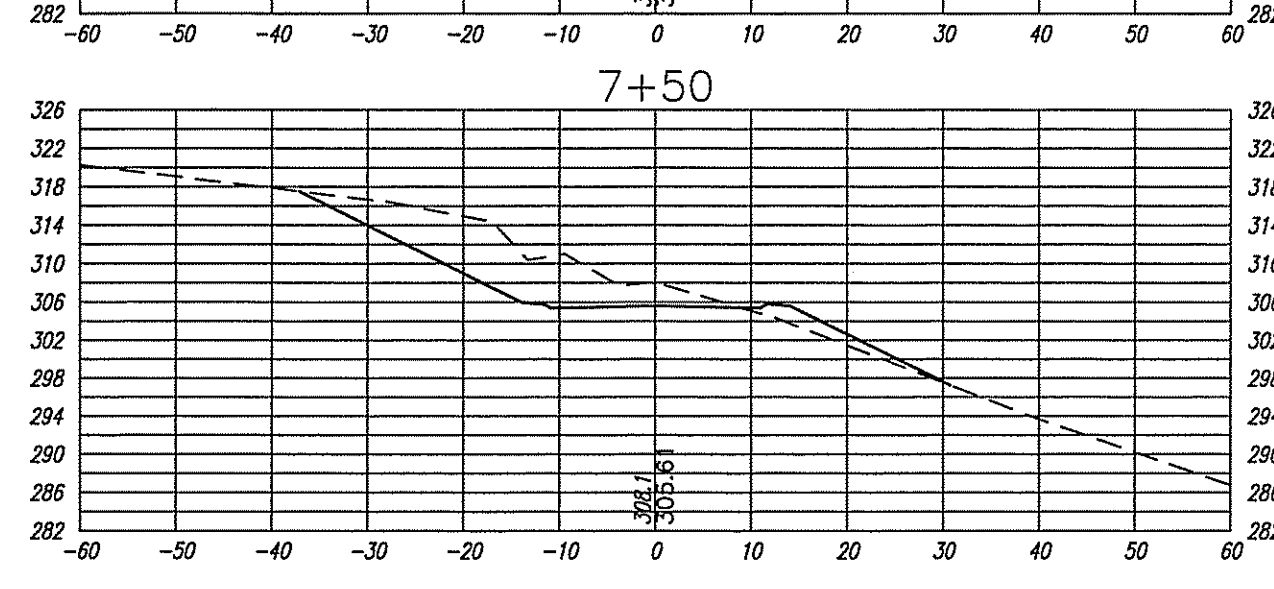
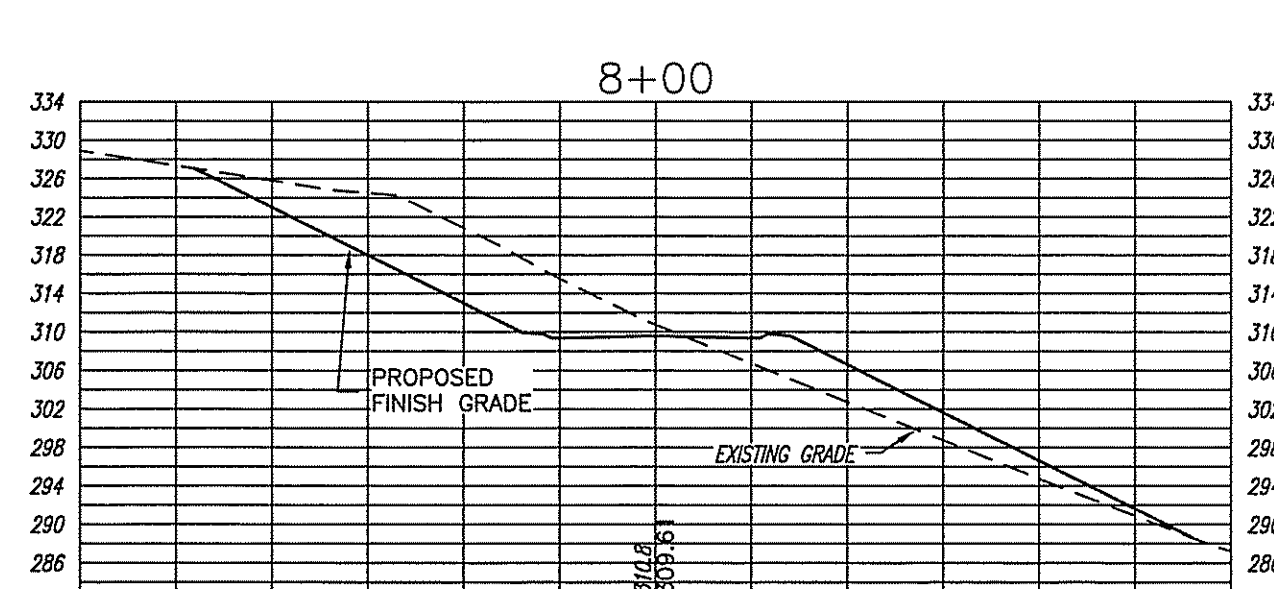
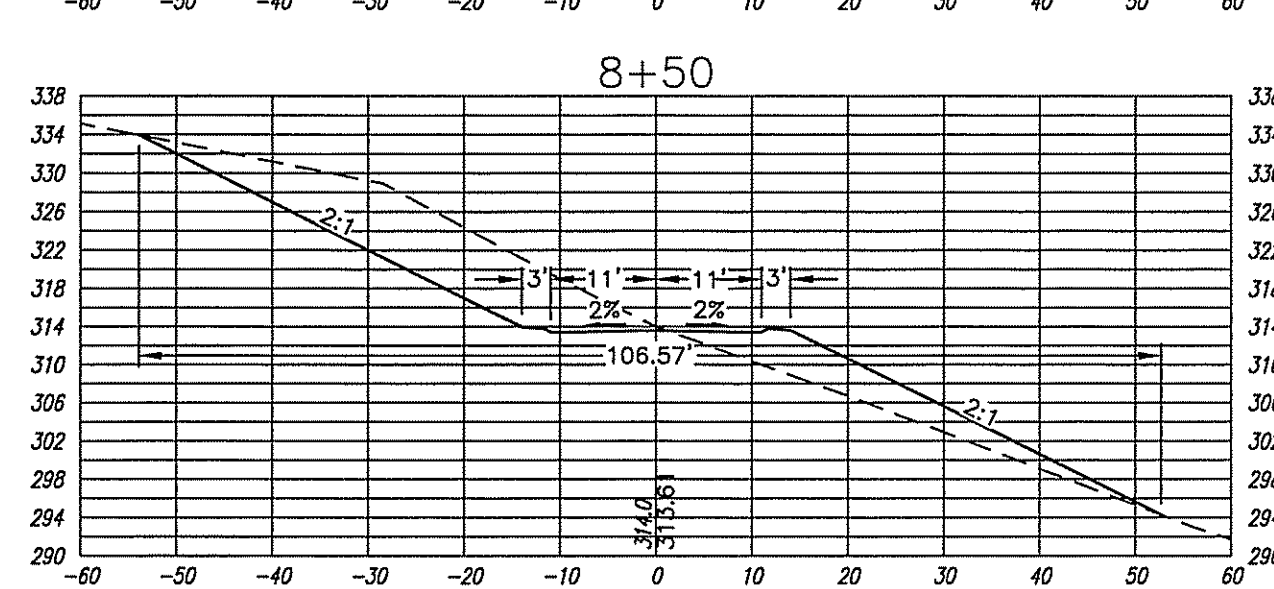
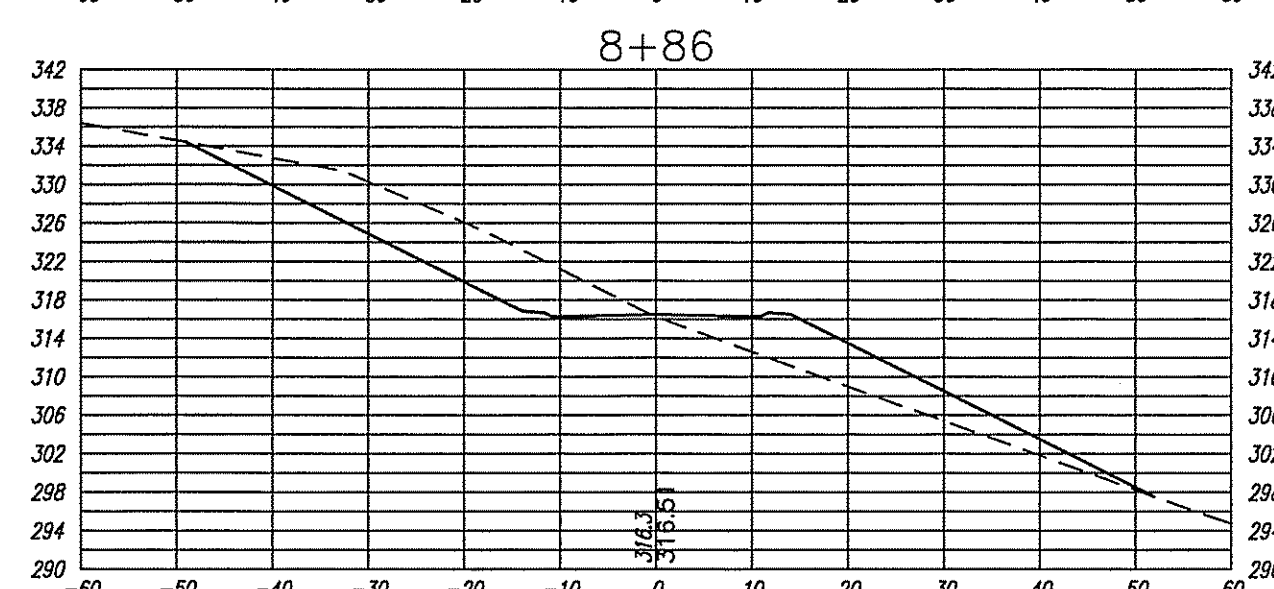
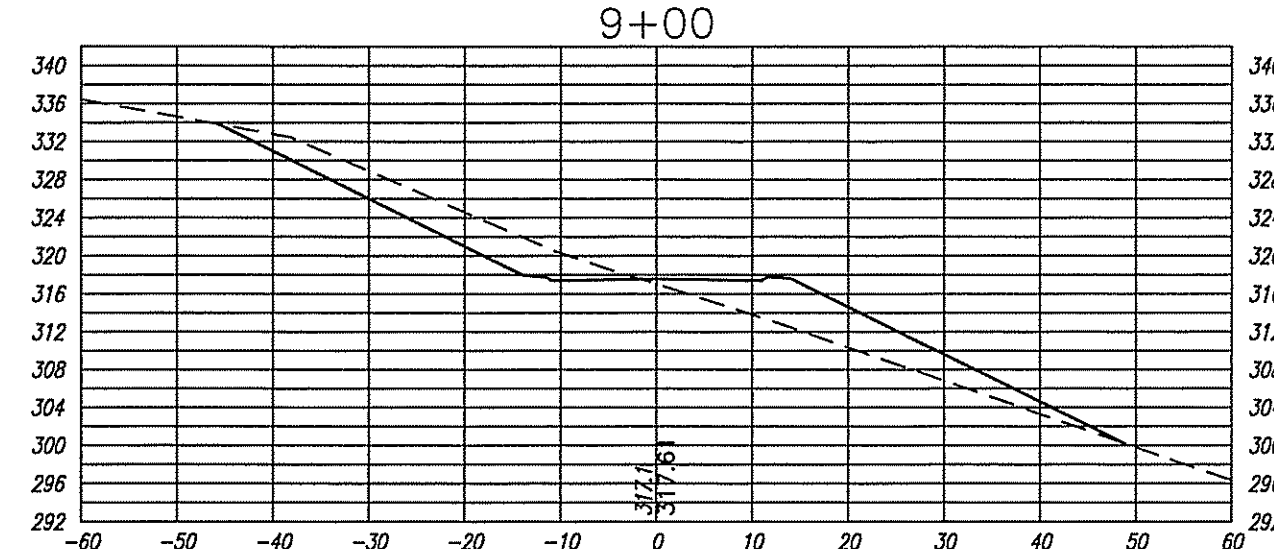
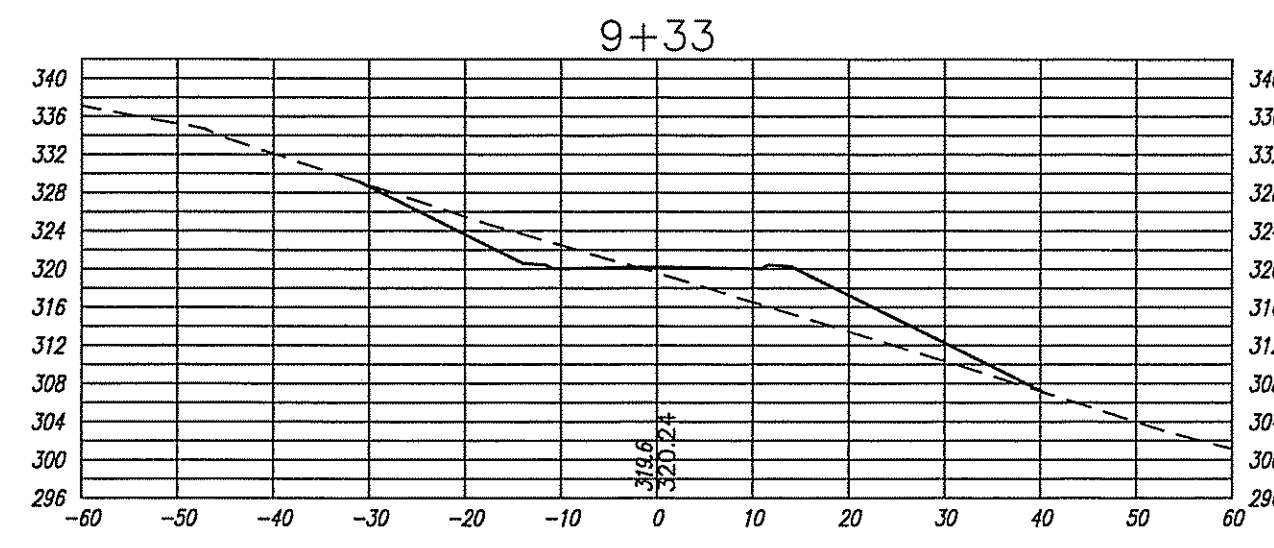
REV.	DATE	DESCRIPTION	DR	CK
B	6/27/22	PER PLANNING BOARD		
A	9/25/21	PER 8/16/21 ENGINEERING REVIEW		

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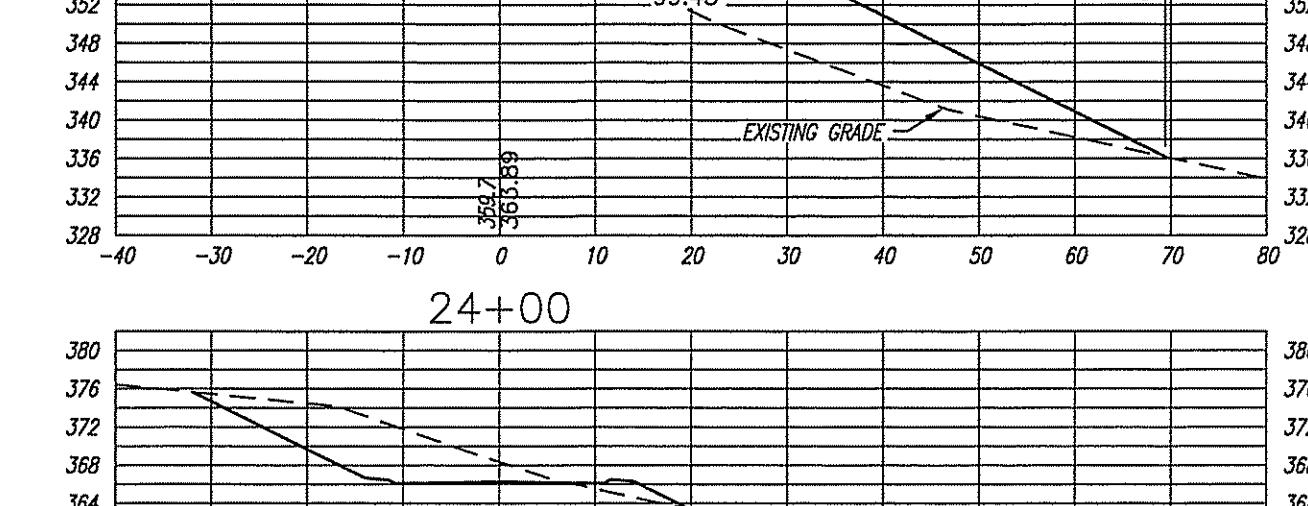
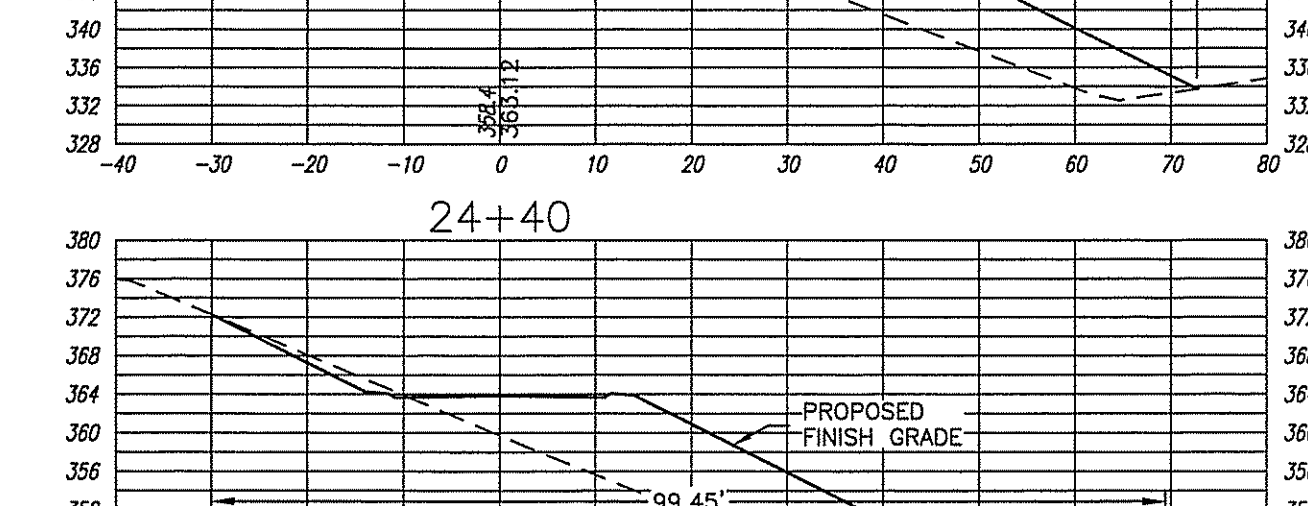
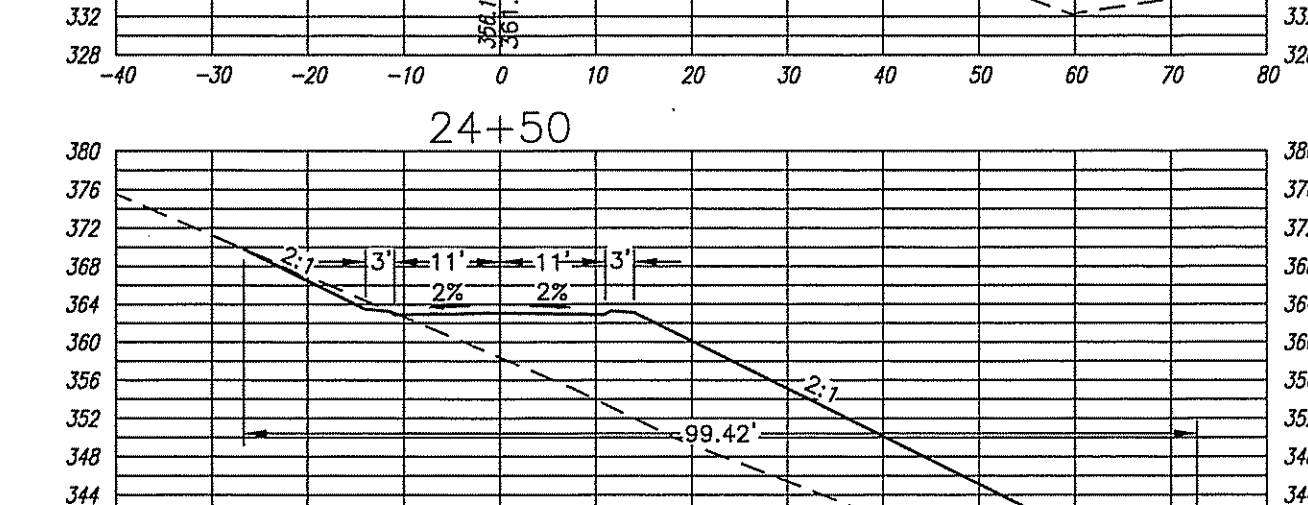
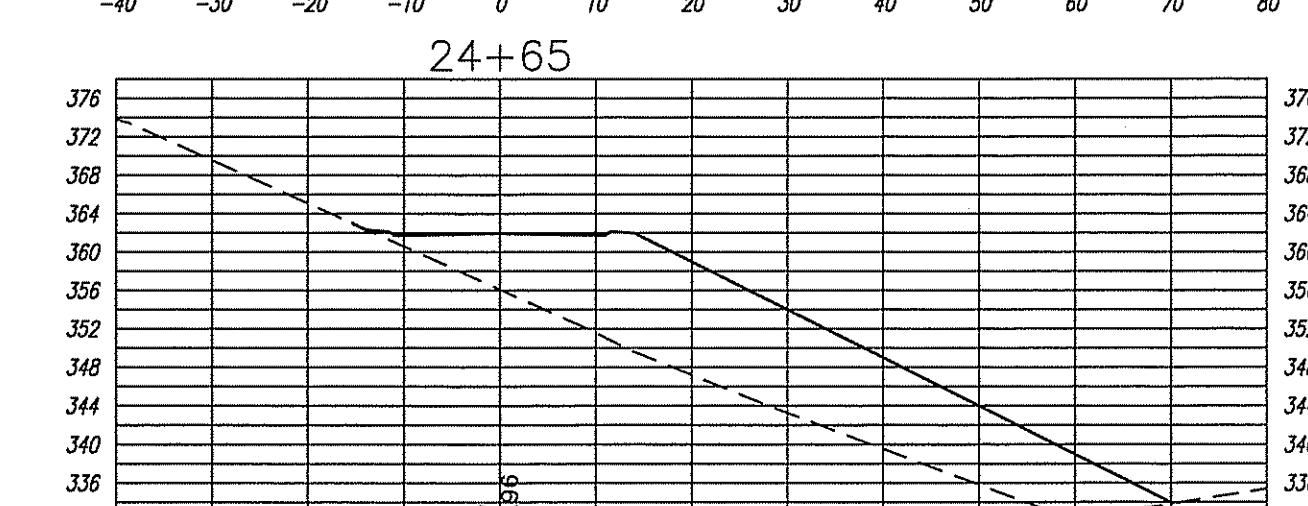
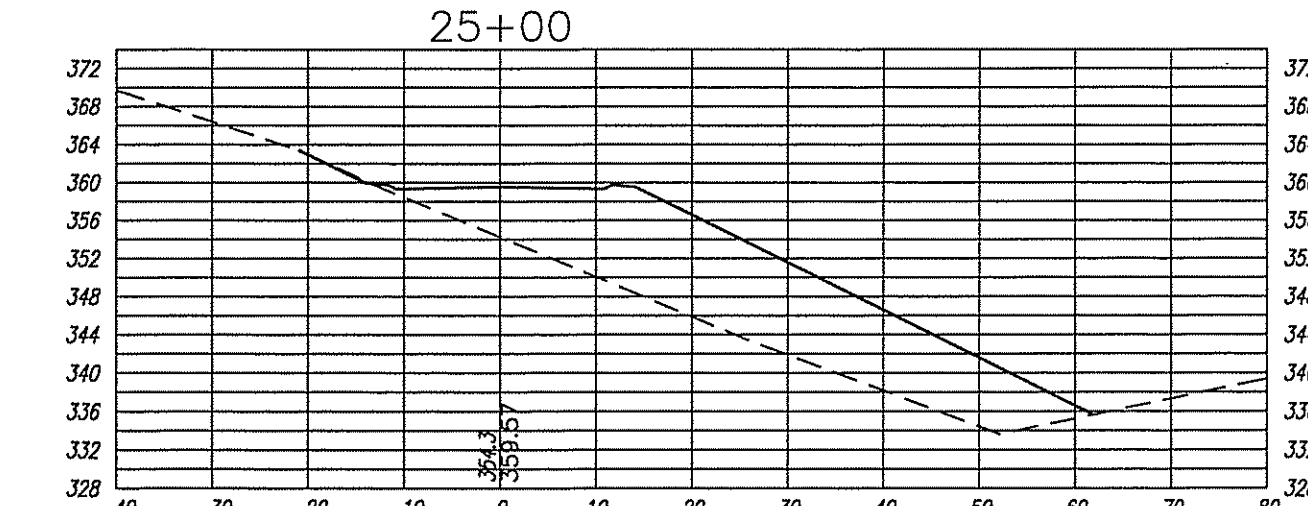
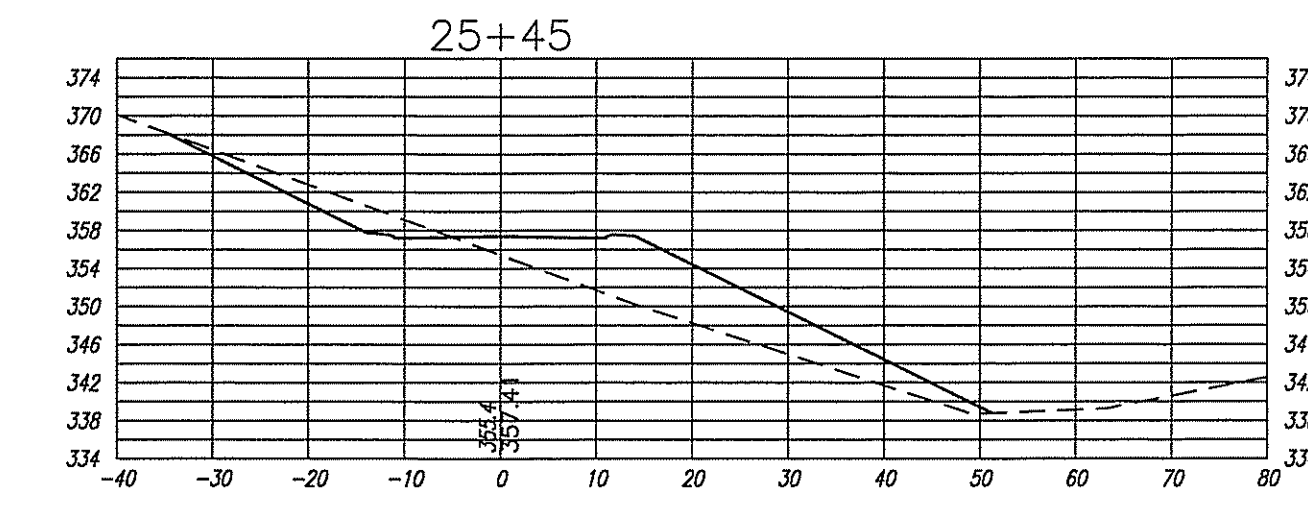
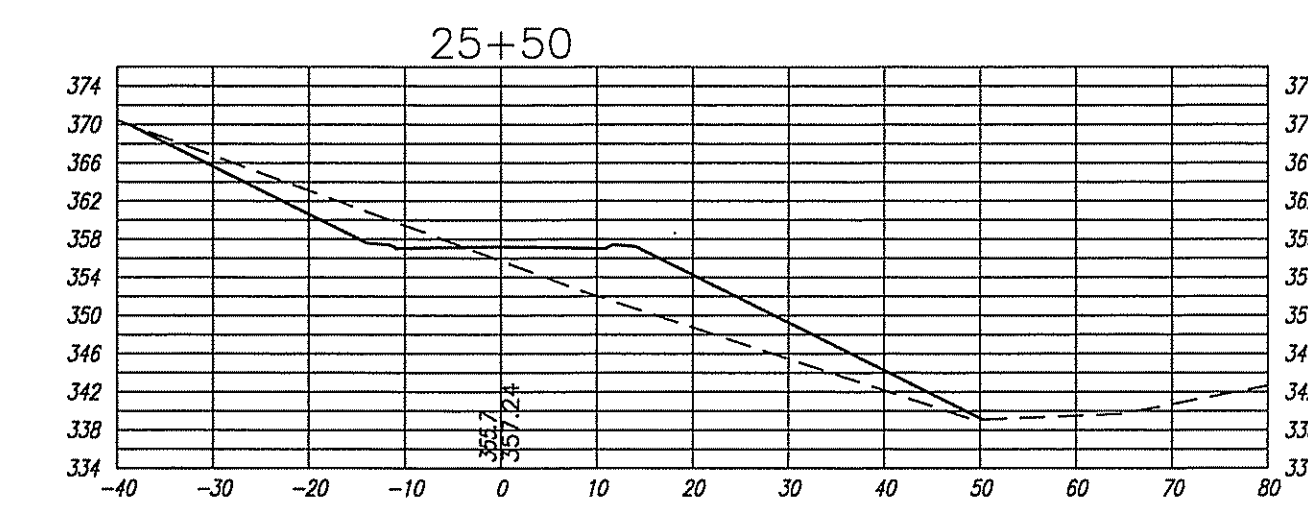
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PLANS ISSUED FOR:
MUNICIPAL REVIEW

TAX MAP 41, LOTS 25, 28, 44
HOLLIS, NEW HAMPSHIRE
SCALE: 1" = 30' HORIZ. / 10' VERT.

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PROJECT NO. 1591.00
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JULY 27, 2021



CROSS SECTIONS STA 7+50 - STA 9+33
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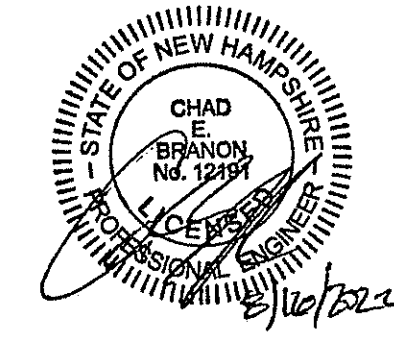
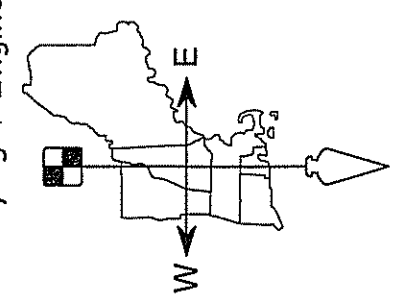


CROSS SECTIONS STA 24+00 - STA 25+50
SCALE: 1" = 20' HORIZ. & VERT.

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ROADWAY CROSS SECTIONS

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TAX MAP 41, LOTS 25, 28, 44
HOLLIS, NEW HAMPSHIRE

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SHEET

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FILE: 1591EH08.dwg

H=20
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